
Development Opportunities



THE OPPORTUNITY

Airport Industrial Park is set to become Brisbane's premier industrial precinct; with more than 100 hectares of land master planned for industrial use, unrivalled connectivity to transport networks and development potential of more than 68,950m² for a single facility.

Located on prime land at the gateway to Queensland, Airport Industrial Park is ideally suited to warehousing, logistics and manufacturing operations. Tenants will enjoy the benefits of creating a customised facility, designed and built to current and future accommodation requirements.

Brisbane Airport's thriving community of 425+ businesses is home to brands such as Miele Australia, Downer, DHL, Australia Post, GPC Repco and Haymans Electrical. With limited land remaining at the highly established and successful Export Park, the new Airport Industrial Park will cater to the increasing demand from Queensland's booming industrial sector.



\$1.8 BILLION

INFRASTRUCTURE TO BE DELIVERED 2018-2022



\$1.7 BILLION

INVESTED IN INFRASTRUCTURE SINCE 2012



\$1.4 BILLION

BNE PROPERTY PORTFOLIO



BRISBANE AIRPORT

Brisbane Airport (BNE) is the premier gateway to Queensland. Curfew-free and operating 24/7, BNE will double its passengers, jobs and investments in the next 20 years.

With Brisbane's New Runway, BNE Auto Mall and 100+ other construction and development projects onsite or in planning, BNE's 2,700 hectare leasehold is one the most significant growth hubs in Australia.

BNE Property is the division of Brisbane Airport Corporation, operators of BNE, that guides the flexible and sustainable development of approximately 650 hectares of the leasehold land.

Our approach is to provide guidance through the development process, deliver timely and at-cost projects and support the ongoing operation of facilities.



MOVING TO BNE

Airport Industrial Park has direct linkages to South East Queensland's dynamic transportation network, unrivalled onsite amenity and ability to operate 24/7.

Amenity

Skygate, BNE Service Centre and the Domestic and International Terminals provide tenants at Airport Industrial Park with extensive onsite shopping, dining and lifestyle options. Nightshift workers benefit from the 24/7 amenity of Woolworths and Jetts Fitness within Skygate Centre and McDonalds and Coles Express at BNE Service Centre.

Additional amenity options will be added to this extensive range with the opening of BNE Auto Mall in 2021.

Flexibility

Our flexible approach enables us to tailor our offering to our clients' needs, ensuring the best fit for a company's size, location, workforce, process and financial requirements.

Property Management and Facilities Maintenance

Our service continues long after a project is complete, through our in-house property management and facilities team. Our property managers build relationships with our tenants during the project development phase. This enables seamless transition between project completion through to relocation and operation. Access to facilities management is 24/7 so that our tenants can continue to operate with minimal disruption.

Gigabit Precinct

BNE is leading the way establishing Australia's first airport gigabit precinct with 250km of new state-of-the-art full fibre infrastructure enabling existing and new business tenants access to ultra-fast internet connectivity. The fibre network combined with an industry grade Data Centre and Internet Exchange already onsite, means BNE is capable of offering business tenants 1,000Mbps upload/download speed, compared to best case NBN connection of up to 100Mbps.

Sustainability

BNE is the first precinct in Australia to be awarded a Green Building Council of Australia Green Star. Our integrated power network, water management system and solar initiatives aim to maximise energy efficiencies across BNE. Dedicated biodiversity zones protect 285 hectares of wetlands and grasslands that are home to local flora and fauna.

We develop and implement Ecological Sustainable Design guidelines for all developments. Significant assets undergo a sustainability benchmark internal assessment using tools such as the National Australian Built Environment Rating System (NABERS) and the Green Building Council of Australia's Green Star Performance program. BAC has invested \$11 million in a major solar project which delivered the largest commercial rooftop solar system in the southern hemisphere with 22,000 panels spanning 32,000m².

BNE Airport Club

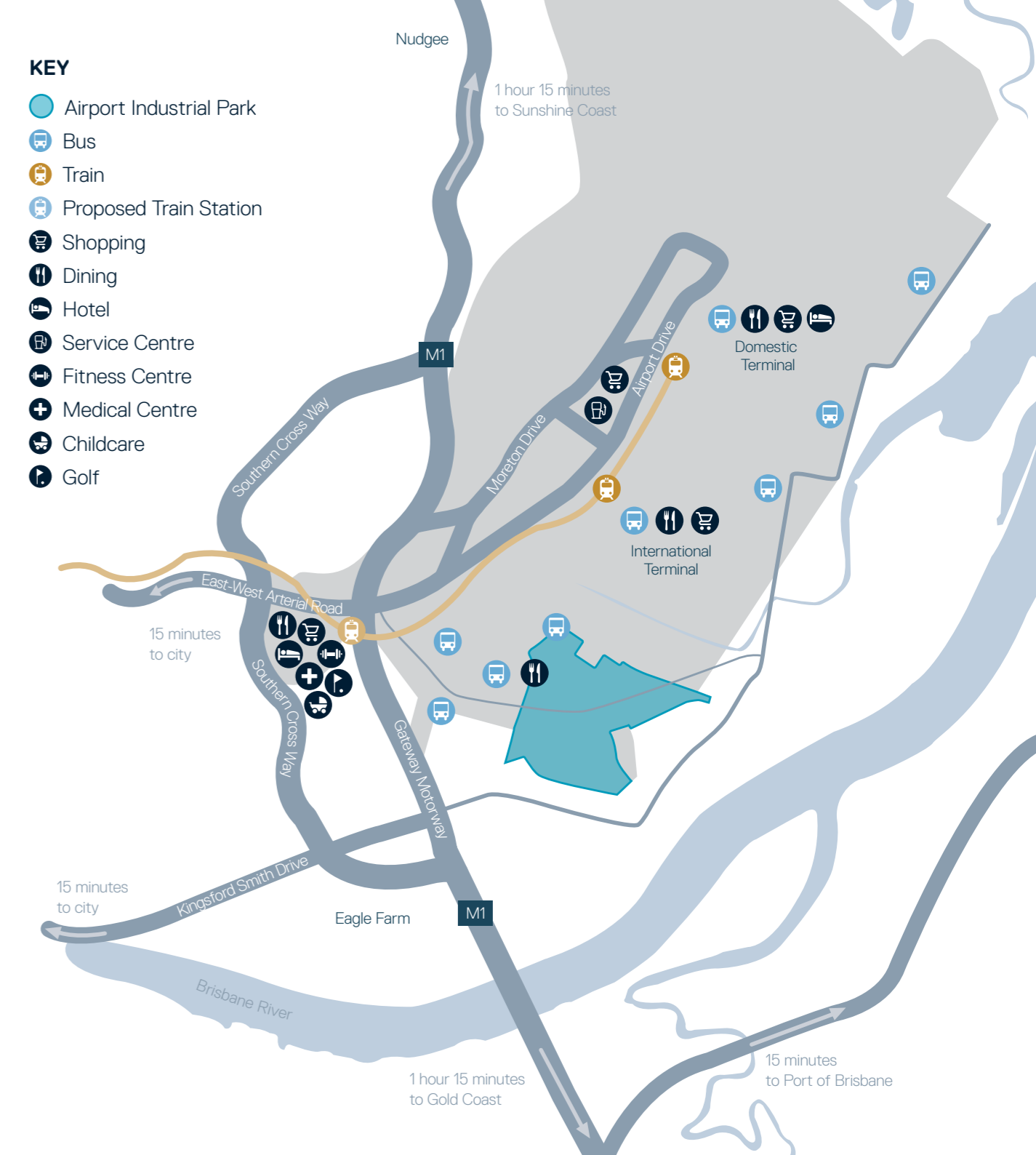
The program gives the on airport working community the opportunity to access a number of exclusive discounts, offers and promotions from premium onsite and airport partner retailers.

BNE Enterprise

Businesses at Brisbane Airport can access BNE Enterprise, a non-profit organisation with an independent board dedicated to generating positive business partnerships and support across all precincts.

Security

The precinct is patrolled by private security and is reinforced by a strong Australian Federal Police presence on airport on a 24/7 basis.



DEVELOPMENT AT AIRPORT INDUSTRIAL PARK

- 100 hectare master planned industrial precinct to be developed in three stages
- Pre-lease opportunities of 8,970m² to 68,950m²
- Airside access available
- Unrivalled connectivity to transport networks ensuring ease and consistency of access to site, markets and supplier base
- Purpose-built facility to suit accommodation requirements
- 24/7 operations permitted
- Gigabit fibre network offering 10x faster speeds than NBN connection
- Development flexibility and future expansion opportunities
- Architecturally designed facility with high quality finishes
- Ample onsite parking
- Mixed use/industrial zoning approved.



AIRPORT INDUSTRIAL PARK MASTER PLAN

AVAILABLE LAND

Lots	Site area	Proposed GFA
AIPN001	17,416m ²	8,970m ²
AIPN002	35,455m ²	18,100m ²
AIPN003	50,343m ²	27,800m ²
AIPN004 (Option 1)	137,736m ²	31,010m ² & 44,450m ²
AIPN004 (Option 2)	137,736m ²	69,750m ²

KEY

- Airport Industrial Park - Stage 1
- Airport Industrial Park - Stage 2
- Airport Industrial Park - Stage 3
- Drainage Reserves





 AIRPORT INDUSTRIAL PARK

GATEWAY MOTORWAY

KINGSFORD SMITH DRIVE

LOMANDRA DRIVE

BNE TERMINALS

BRISBANE CBD

AIRTRAIN

BNE AUTO MALL

SKYGATE

SOUTHERN CROSS WAY

LOT AIPN001 FLOOR PLAN

AIRPORT INDUSTRIAL PARK

SITE INFORMATION

Site area	17,416m ²
Heavy duty pavement	3,972m ²
Light duty pavement	2,750m ²
Landscape area	1,265m ²
Warehouse	8,520m ²
Office	450m ²
Total GFA	8,970m ²
Site yield	51.5%

CAR PARKING

Car parks	62
-----------	----

AWNING AREA

Cover	556m ²
-------	-------------------

DOCKS

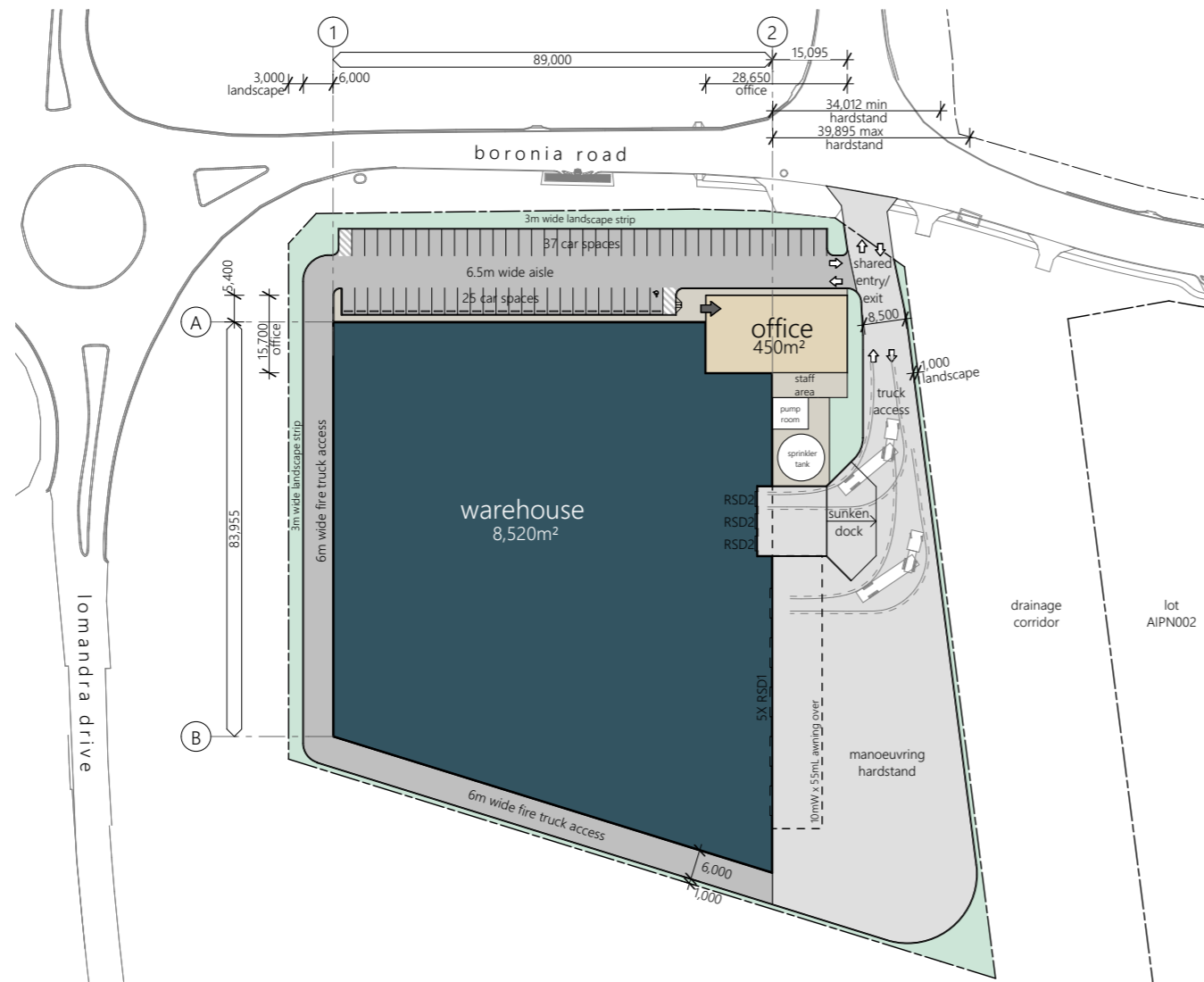
At grade docks	5
Sunken docks	3

SPRINGING HEIGHT

Springing height	10m
------------------	-----

ROLLER SHUTTERS

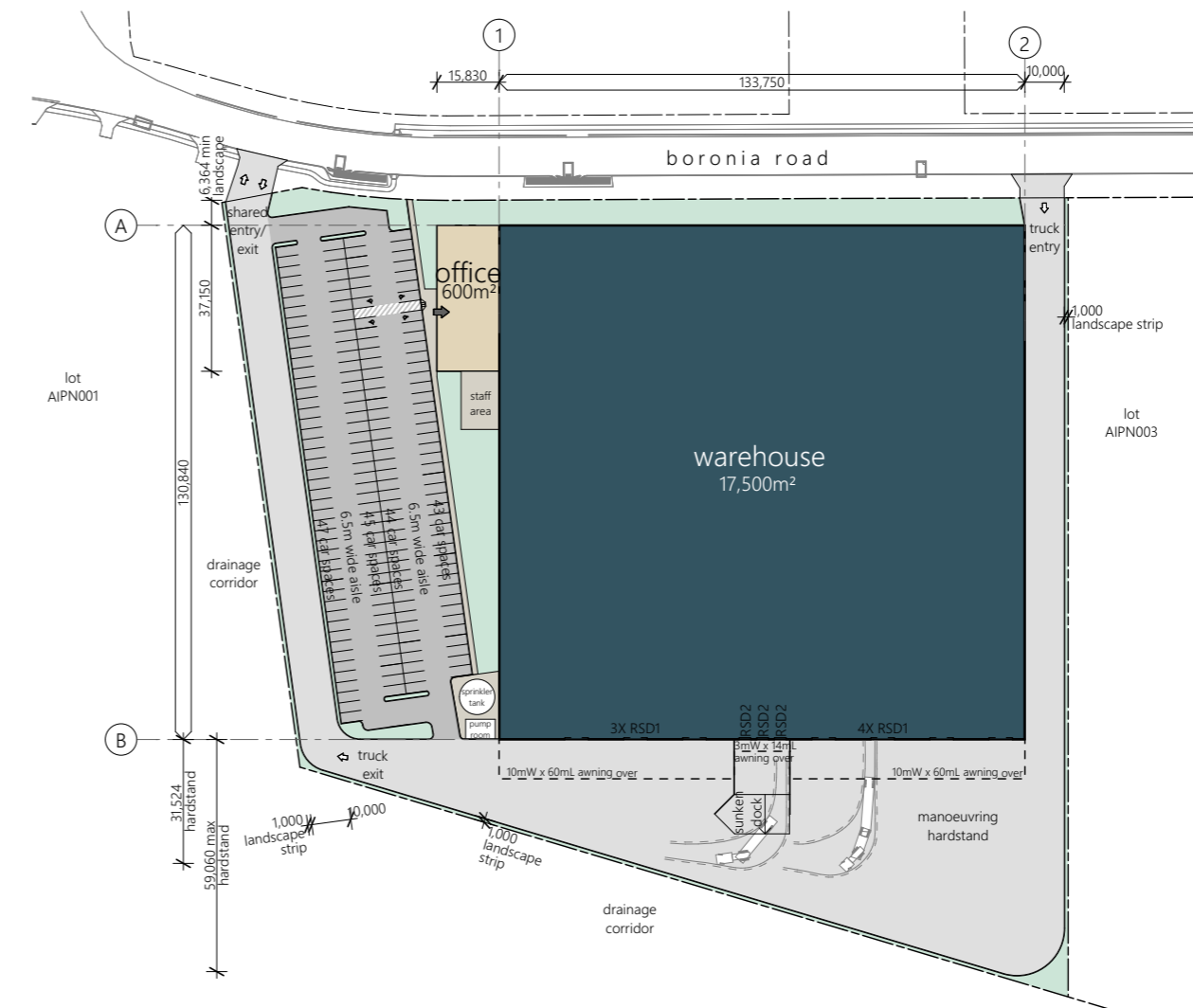
RSD1	6m wide x 6m high roller shutter door
RSD2	3m wide x 3m high roller shutter door





LOT AIPN002 FLOOR PLAN

AIRPORT INDUSTRIAL PARK



SITE INFORMATION

Site area	35,455m ²
Heavy duty pavement	9,534m ²
Light duty pavement	4,474m ²
Landscape area	2,676m ²
Warehouse	17,500m ²
Office	600m ²
Total GFA	18,100m ²
Site yield	51.05%

CAR PARKING

Car parks	179
-----------	-----

AWNING AREA

Cover	1,122m ²
-------	---------------------

DOCKS

At grade docks	7
Sunken docks	3

SPRINGING HEIGHT

Springing height	10m
------------------	-----

ROLLER SHUTTERS

RSD1	6m wide x 6m high roller shutter door
RSD2	3m wide x 3m high roller shutter door

LOT AIPN003 FLOOR PLAN

AIRPORT INDUSTRIAL PARK

SITE INFORMATION

Site area	50,343m ²
Heavy duty pavement	12,186m ²
Light duty pavement	6,000m ²
Landscape area	3,990m ²
Warehouse	27,000m ²
Office	800m ²
Total GFA	27,800m ²
Site yield	55.22%

CAR PARKING

Car parks	230
-----------	-----

AWNING AREA

Cover	1,264m ²
-------	---------------------

DOCKS

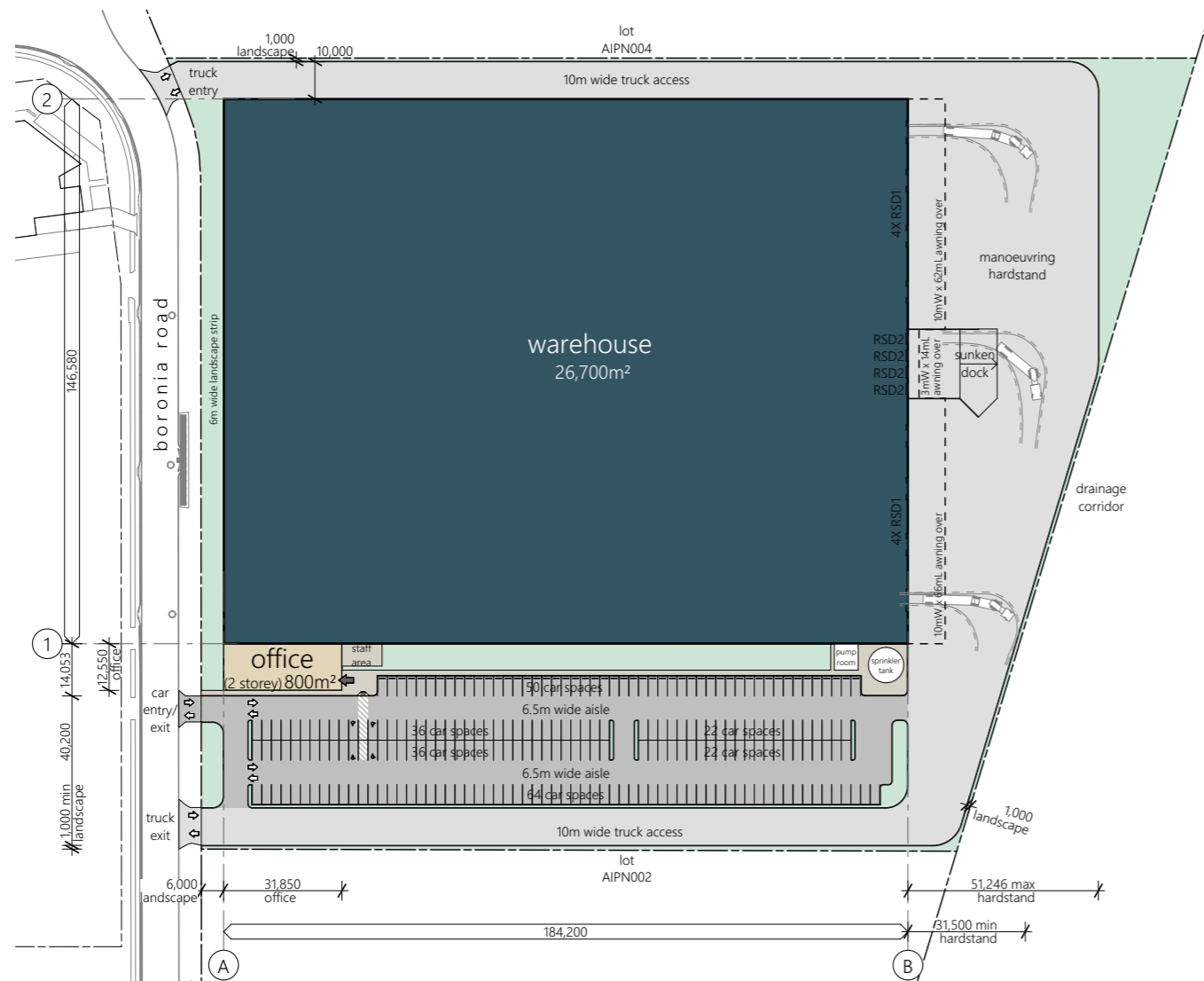
At grade docks	8
Sunken docks	4

SPRINGING HEIGHT

Springing height	10m
------------------	-----

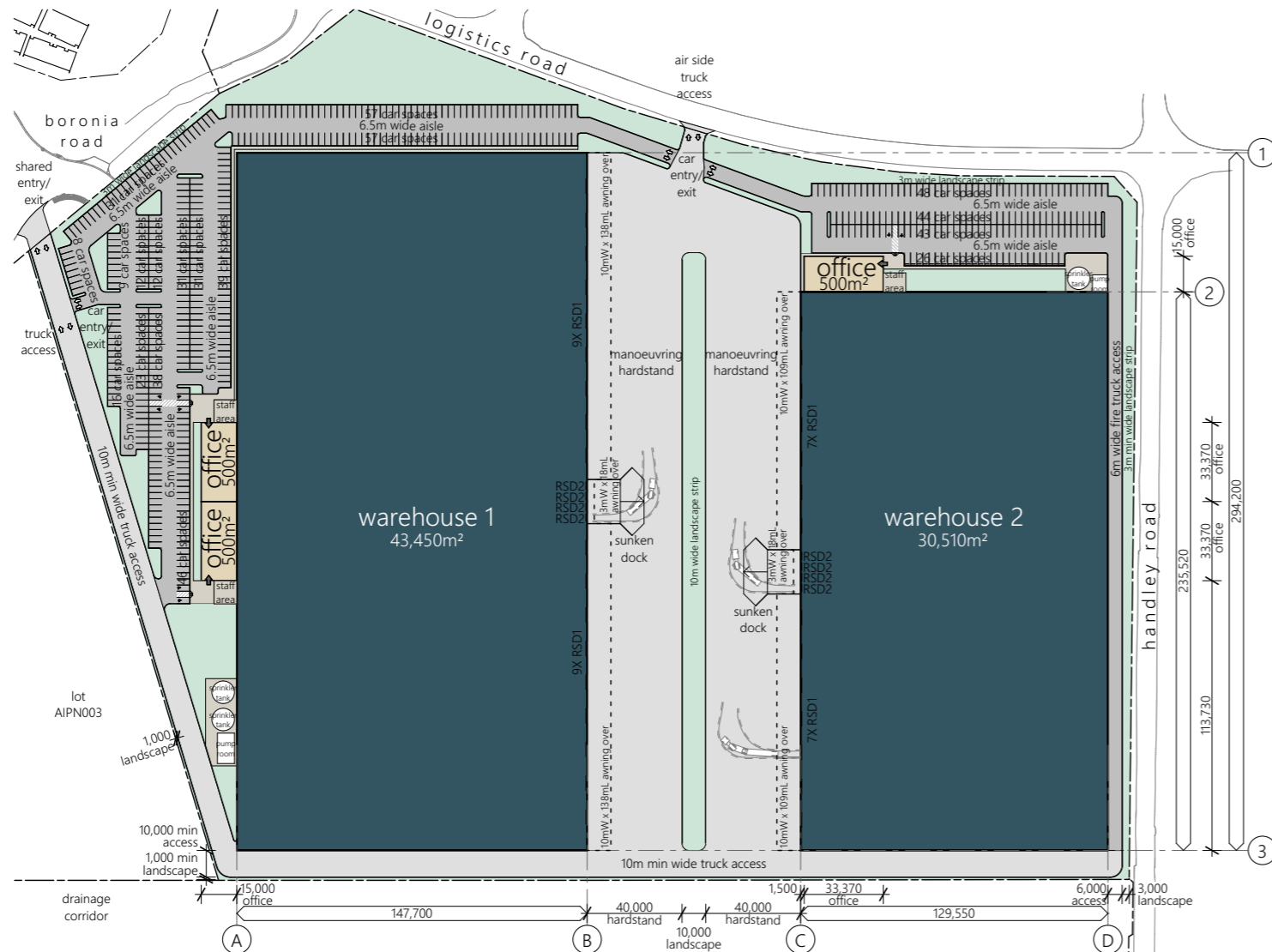
ROLLER SHUTTERS

RSD1	6m wide x 6m high roller shutter door
RSD2	3m wide x 3m high roller shutter door



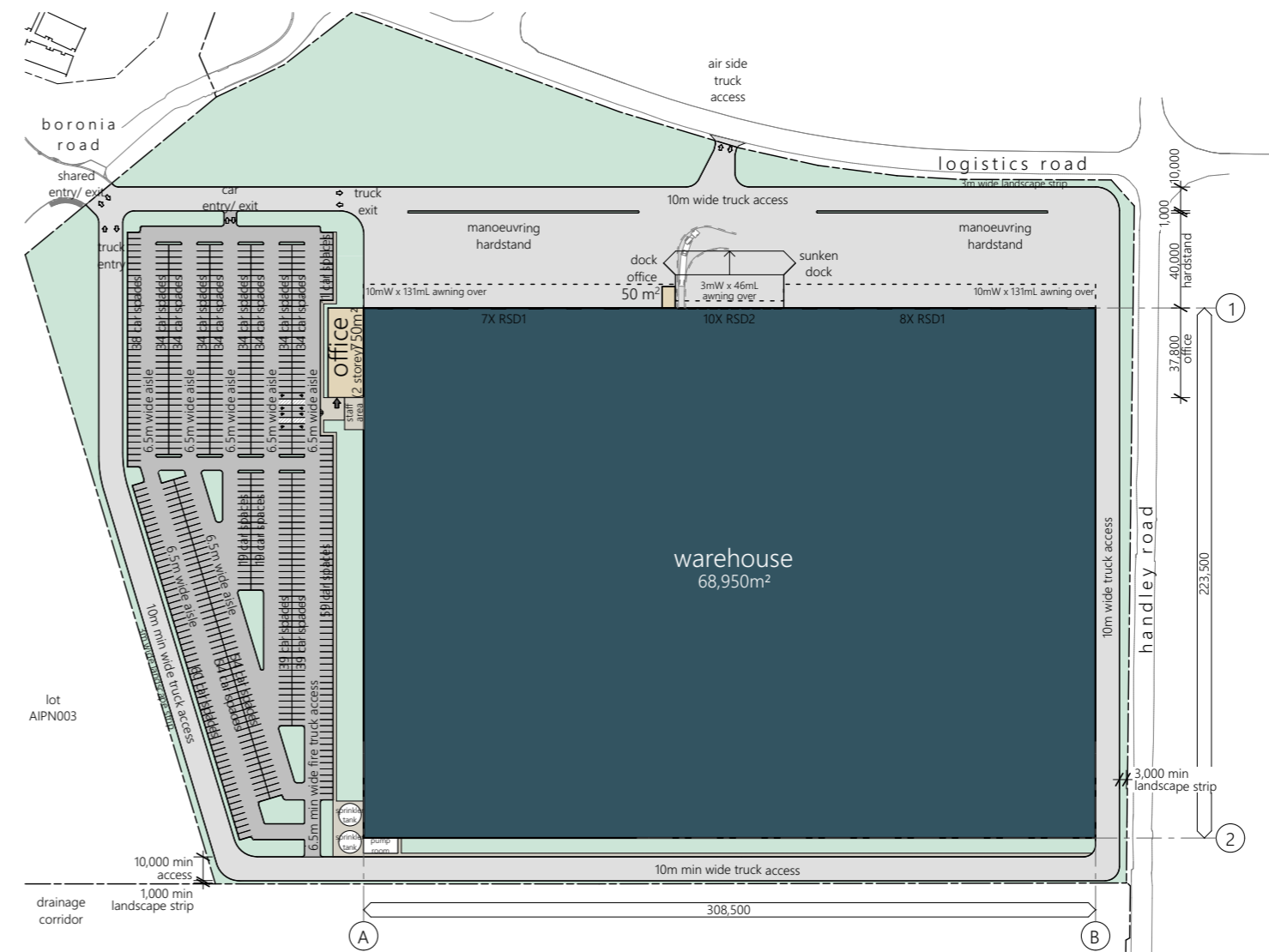
LOT AIPN004 FLOOR PLAN (OPTION 1)

AIRPORT INDUSTRIAL PARK



LOT AIPN004 FLOOR PLAN (OPTION 2)

AIRPORT INDUSTRIAL PARK



SITE INFORMATION

Site area	137,736m ²
Heavy duty pavement	30,202m ²
Light duty pavement	16,245m ²
Landscape area	13,428m ²
Warehouse	73,960m ²
Office	1,500m ²
Total GFA	75,460m ²
Site yield	54.78%

CAR PARKING

Car parks	558
-----------	-----

AWNING AREA

Cover	5,039m ²
-------	---------------------

DOCKS

At grade docks	32
Sunken docks	8

SPRINGING HEIGHT

Springing height	10m
------------------	-----

ROLLER SHUTTERS

RSD1	6m wide x 6m high roller shutter door
RSD2	3m wide x 3m high roller shutter door

SITE INFORMATION

Site area	137,736m ²
Heavy duty pavement	26,283m ²
Light duty pavement	17,436m ²
Landscape area	22,397m ²
Warehouse	68,950m ²
Office	750m ²
Dock office	50m ²
Total GFA	69,750m ²
Site yield	50.64%

CAR PARKING

Car parks	664
-----------	-----

AWNING AREA

Cover	2,813m ²
-------	---------------------

DOCKS

At grade docks	15
Sunken docks	10

SPRINGING HEIGHT

Springing height	10m
------------------	-----

ROLLER SHUTTERS

RSD1	6m wide x 6m high roller shutter door
RSD2	3m wide x 3m high roller shutter door

RECENT INDUSTRIAL PROJECTS



MIELE AUSTRALIA

Size
7,065m²

Purpose
Showroom, workshop, warehouse and office

Time to Complete
7 months

Precinct



HAYMANS ELECTRICAL

Size
5,600m²

Purpose
Warehouse and office

Time to Complete
8 months

Precinct



QUALITY FOOD SERVICES

Size
11,260m²

Purpose
Warehouse, cold storage and office

Time to Complete
12 months

Precinct



GPC

Size
28,000m²

Purpose
Warehouse and office

Time to Complete
10 months

Precinct



GEORGE DELIBALTAS

Head of Property Development
BNE Property

T +61 (07) 3406 3344

M +61 (0) 408 692 860

E george.delibaltas@bne.com.au

BRETT SIZER

Property Development Manager
BNE Property

T +61 (07) 3068 6651

M +61 (0) 429 605 962

E brett.sizer@bne.com.au

Disclaimer: This document has been produced by Brisbane Airport Corporation Pty Limited (BAC) ACN 076 870 650, 11 The Circuit, Brisbane Airport, Qld 4008® 2019. All rights reserved. No part of this document may be reproduced, in whole or in part, without the prior written permission of BAC. BAC does not accept responsibility or any liability under any cause of action, nor warrant the correctness of information or opinions expressed in this document. This is not an offer to lease nor does it form any part of a contract. Any and all terms in this document are indicative only and are subject to formal agreement between the Parties. Users of this document should make their own independent enquiries and seek advice before acting.

