

General Notes for Commercial Works

Revised May 2012

GENERAL NOTES (NCC 2012, BCA Vol 1)

All materials and work practices shall comply with, but not limited to the Building Regulations 2006, the National Construction Code series 2012 Building Code of Australia Volume 1 and all relevant current Australian Standards (as amended) referred to therein.

Unless otherwise specified, the term BCA shall refer to National Construction Code Series 2012 Building Code of Australia Volume 1.

All materials and construction practice shall meet the Performance Requirements of the Building Code of Australia. Where an alternative solution is proposed then prior to implementation or installation it first must be assessed and approved by the Relevant Building Surveyor as meeting the Performance Requirements of the Building Code of Australia.

Step sizes (other than for spiral stairs) to be:-
 Risers (R) 190mm maximum and 115mm minimum
 Going (G) 355mm maximum and 250mm minimum for Public stairways and 355mm maximum and 240mm minimum for Private stairways
 2R + 1G = 700mm maximum and 550mm minimum
 Constructed with a less than 125mm gap to open treads

All treads, landings and the like to have non slip finish or suitable non-skid strip near edge of nosing.

Provide balustrades where change in level exceeds 1000mm above the surface beneath landings, ramps and/or treads. Balustrades (other than tensioned wire balustrades) to be:-
 1000mm minimum above finished surface level of balconies, landings or the like, and
 1000mm minimum above finished surface level of stair nosing or ramp, and
 Vertical with a less than 125mm gap between, and
 Any horizontal element within the balustrade between 150mm and 760mm above the floor must not facilitate climbing where changes in level exceeds 4000mm above the surface beneath landings, ramps and/or reads.

Top of hand rails to be minimum 865mm vertically above stair nosing and floor surface of ramps.

Window sizes nominated are nominal only. Actual size may vary according to manufacturer. Windows to be flashed all around.

Waterproofing of wet areas to comply with BCA Part F1.7.

For buildings in marine or other exposure environments shall have masonry units, mortar and all built in components and the like complying with the durability requirements of AS3700-2011 Masonry structures

All storm water to be taken to the legal point of discharge to the relevant authorities' approval.

These drawings shall be read in conjunction with all architectural specifications, relevant structural and all other consultants' drawings/details and specifications and with any other written instructions issued in the course of the contract.

All measurements and levels in millimeters U.N.O.

Figured dimensions take precedence over scaled dimensions.

The builder shall take all steps necessary to ensure the stability and general water tightness of all new and/or existing structures and all essential services to be maintained during all works.

The builder and subcontractors shall check and verify all dimensions, setbacks, levels and specifications and all other relevant documentation prior to the commencement of any works. Report all discrepancies to this office for clarification.

Installation of all services shall comply with the respective Supply Authority requirements.

The builder and subcontractor shall ensure that all storm water drains, sewer pipes and the like are located at a sufficient distance from any buildings footing and/or slab edge beams so as to prevent general moisture penetration, dampness, weakening and undermining of any building and its footing system.

These plans have been prepared for the exclusive use by the client of [insert Building Designer] (the Designer) for the purpose expressly notified to the Designer. Any other person who uses or relies on these plans without the Designer's written consent does so at their own risk and no responsibility is accepted by the Designer for such use and/or reliance.

The approval by this office of a substitute material, work practice, variation or the like is not an authorisation for its use or a contract variation. Any said variations must be accepted by all parties to

the agreement and where applicable the Relevant Building Surveyor prior to implementing the said variation.

Refer to Civil Engineers design and details for all storm water, car parking and driveway construction requirements.

Refer to fire services design for all hydrant, hose reels and extinguisher details.

Electrical switchboards located in the path of travel to exits to be enclosed in a metal or other non combustible cabinet with smoke proof doors. Significant switchboards shall be provided with a 5kg carbon dioxide extinguisher or another type of extinguisher with a minimum classification of 1A:E and fitted with a hose complete with extinguisher identification signage and shall be located between 2m and 20m from the significant switchboard.

Fire hazard properties of materials and assemblies to comply with BCA Specification C1.10.

Mechanical ventilation or air-conditioning of rooms to be provided with a system complying with AS1668.2 and AS/NZS 3666.1 as amended. Exhaust outlets to be located no closer than 6.0m to fresh air inlets.

Sediment pollution control:-
 A site management plan is to be implemented during construction to control sediment run-off in accordance with EPA Victoria publication #275 'construction techniques for sediment pollution control'.
 Provide 'propex' or written approved equivalent silt fences to the low side of the allotment and around all soil stockpiles and storm water inlet pits / sumps and install 'silt stop' filter bags over all storm water entry pits during construction works.
 'Supergro' or written approved equivalent erosion control fabric to be placed over garden beds to prevent surface erosion during re vegetation period

Personal loading:-
 Based on sanitary facilities provided per BCA Table. F2.3

Male Employees:-
 Female Employees:-

Male Patrons:-
 Female Patrons:-

Male Participants:-
 Female Participants:-

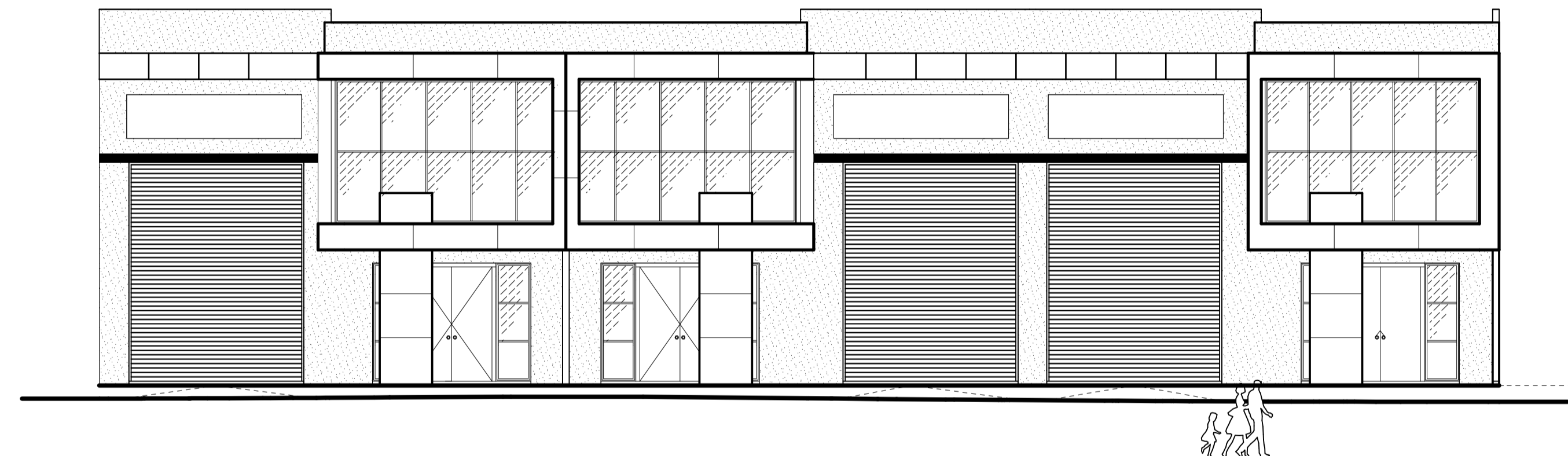
Children:-

Authorities List:-
 Municipality-
 Sewerage authority-
 Drainage authority-
 Relevant Building Surveyor-
 Relevant Fire Authority-
 Relevant Electrical Supply Authority-

Planning Permit:-
 Planning Permit No.-
 Issue Date-
 Builder to allow for all works to comply and include all required conditions in accordance with the Planning Permit and shall be responsible that all Planning Conditions are met at the completion of works.

Project Consultants List:-
 Consulting Structural Engineer-
 Consulting Civil Engineer-
 Consulting Fire Service Design-
 Consulting Land Surveyor-
 Consulting Geotechnical Engineer-
 Consulting Landscape Designer-
 Consulting Mechanical Services Engineer-
 Consulting Electrical Engineer -
 Consulting Hydraulic Engineer,
 Consulting Lighting Designer-

Site geotechnical investigation:-
 Refer to geotechnical investigation report no. :-
 By



LOT 712 RAVENHALL WAY, RAVENHALL

- A01 - COVER SHEET**
- A02 - SITE PLAN**
- A03 - GROUND FLOOR PLAN**
- A04 - FIRST FLOOR PLAN**
- A05 - ROOF PLAN**
- A06 - ELEVATIONS**
- A07 - SECTION/WINDOW & DOOR SCHEDULE**
- A08 - DETAILS**

TIM RUSHIDI
At: LOT 712 RAVENHALL WAY,
RAVENHALL, VIC 3023

FIRE:
EMERGENCY LIGHTING EXIT SIGNS
ARE PORTABLE EXIT. DRY WATER
FIRE BLANKETS FOR KITCHENS.

M7 Design Group Pty. Ltd. building designers registered building practitioner	1: 03 9527 8111 F: 03 9527 8110 M: 0438 988 922	Proposed: (3X) FACTORIES	date amendments
	At: LOT 712 RAVENHALL WAY, RAVENHALL	Client: TIM RASHIDI	Job No: 1494
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SITE NOTES:

REFER TO: HOME AND INDUSTRIAL SOIL TESTING PLAN OF SURVEY FOR LOCATION OF CONTOUR INTERVALS, BOUNDARIES, FENCES, SURFACE PITS, VALVE COVERS ECT.

NO DIRECT KNOWLEDGE IS CLAIMED OF THE LOCATION OF UNDERGROUND SERVICES.

PRIOR TO ANY EXCAVATION OR CONSTRUCTION, THE RELEVANT AUTHORITY SHOULD BE CONTACTED TO LOCATE POSSIBLE UNDERGROUND SERVICES.

GROUND MUST BE GRADED AWAY FROM EXTERNAL WALLS AND SURFACE WATER PROPERLY DRAINED BY MEANS OF SURFACE/CUT-OFF DRAINS CONNECTED INTO SWD VIA SILT PITTS

BLOCK BEARINGS MUST BE CONFIRMED PRIOR TO CONSTRUCTION.

ENSURE THAT ALL PRECAUTIONS ARE TAKEN TO PROTECT ADJOINING PROPERTY/PUBLIC DURING EXCAVATION/CONSTRUCTION/DEMOLITION OWNERS OF ADJOINING PROPERTY MUST BE CONSULTED PRIOR TO REMOVING/ALTERING SHARED FENCING

NO PART OF THE PROPOSED STRUCTURE OR FOOTING IS TO ENCROACH THE TITLE BOUNDARIES

F.F.L. TO BE CONFIRMED ON SITE BY BUILDING SUPERVISOR AFTER COMPLETION OF SITE WORKS.

CONNECT STORMWATER TO LEGAL POINT OF DISCHARGE AS DIRECTED BY LOCAL COUNCIL & AS PER APPROVED DRAINAGE PLAN

SITE TO BE DRAINED TO THE SATISFACTION OF THE BUILDING SURVEYOR.

CONNECT PVC STORMWATER DRAIN AT 1:100 MIN. FALL, WITH INSPECTION OPENINGS AT 9M MAX. CTRS. AND AT CHANGE OF DIRECTION UNLESS NOTED OTHERWISE.

DOWNPIPE LAYOUT MAY VARY ON SITE SHOULD THE RELEVANT BUILDING SURVEYOR/COUNCIL REQUIRE IT.

DP: DOWN PIPE
DPS: DOWN PIPE WITH SPREADER

DOWNPIPES TO BE PROVIDE AT MAX. 12M CENTRES

PROVIDE A.G. DRAINS WHERE REQUIRED & CONNECT TO S/WATER DRAIN VIA SILT PIT

CONNECT SEWERAGE AS PER RELEVANT AUTHORITY APPROVAL AND TO APPROVED DISCHARGE POINT. FINAL SEWER PIPE LAYOUT MAY BE ALTERED IF REQUIRED BY RELEVANT SEWER AUTHORITY.

PROVIDE UPVC SEWER PIPE
LOCATION OF SECOND EXTERNAL TAP TO BE DETERMINED BY POSITION OF OVERFLOW RELIEF GULLY.

CUT / FIL PROPOSALS & FINISHED FLOOR LEVELS ON THIS SITE PLAN TO BE CHECKED & CONFIRMED PRIOR TO CONSTRUCTION BY THE BUILDER / OR SUB-CONTRACTORS.

LEGEND

LB - LETTER BOX
HWS - HOT WATER SERVICE
MB - METER BOX
BIN - RUBISH BIN
R/BIN - RECYCLE BIN
HW - HABITAT WINDOW
NHW - NON HABITAT WINDOW
GM - GAS METER
RWT - RAIN WATER TANK

LB GM HWS MB R/BIN BIN RWT

NOTE:
(LEGAL POINT OF DISCHARGE)
STORM WATER TO BE CONNECTED TO LEGAL POINT OF DISCHARGE AS PER LOCAL COUNCIL REQUIREMENTS

NOTE:

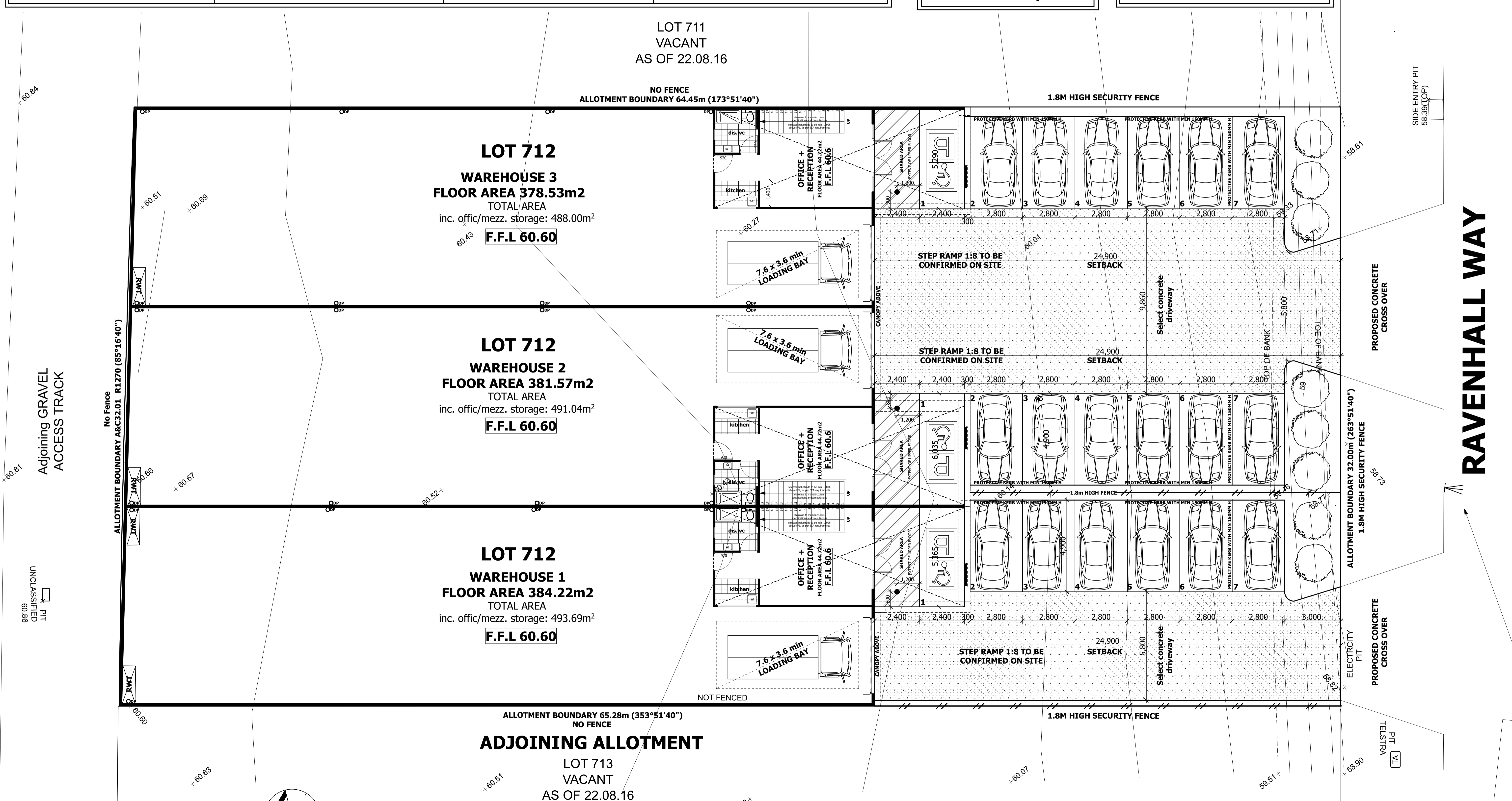
SOIL TEST (ACE DRILLING)
SITE LEVELS (Home and Industrial Soil Test Pty Ltd)

NOTE:
ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800mm MIN. COLOURBOND FENCING.

NOTE:
MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS

NOTE:
BREAK UP LARGE FORMS WITH ARTICULATED DIMENSIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.

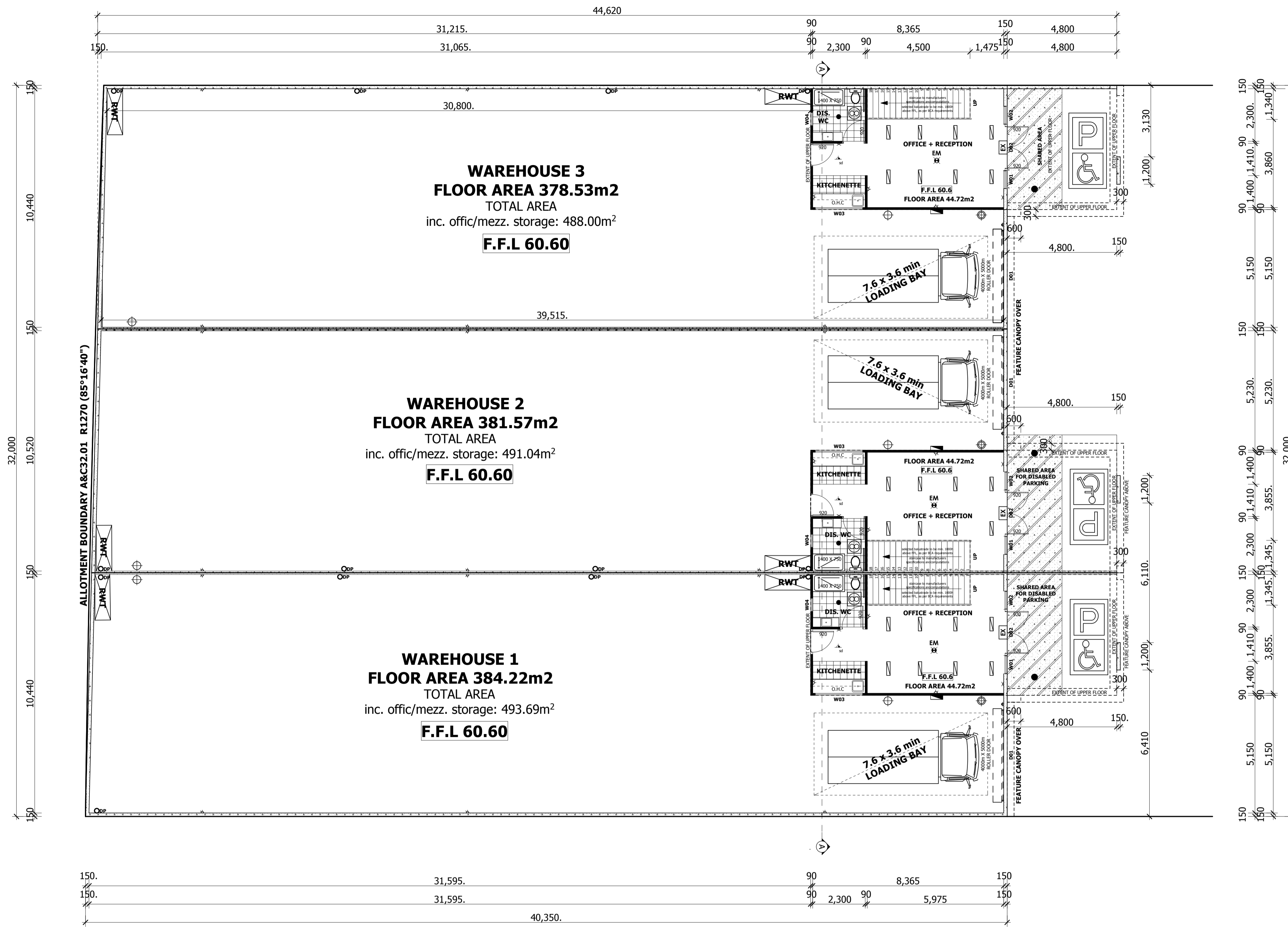
SITE AREA: 2078m²
BUILT UP AREA: 1278.48m²
SITE COVERAGE: 61.52%
PERMIBILITY: 20%



SITE PLAN
SCALE 1:100

FIRE:
EMERGENCY LIGHTING EXIT SIGNS ARE PORTABLE EXIT. DRY WATER FIRE BLANKETS FOR KITCHENS.

<p>M7 Design Group Pty. Ltd. building designers</p> <p>registered building practitioner</p>	<p>1: 03.03.2018 1: 03.03.2018 M: 03.03.2018</p>	<p>Proposed: (3X) FACTORIES</p>	<p>date amendments</p>
	<p>At: LOT 712 RAVENHALL WAY, RAVENHALL</p>	<p>Client: TIM RASHIDI</p>	<p>Job No: 1494</p>
	<p>Date: 15.12.16</p>	<p>Copyright 2016. These drawings are not to be copied or used in any way without the written consent of the author.</p>	<p>sheet no: 02</p>
	<p>T.B.M. RIVET IN KERB</p>		



ELECTRICAL LEGEND

- 1200 x 300 Recessed T bar 2x36W Fluorescent light fitting
- Clevertronics emergency exit light class 9430 1 x 10 w CO D14/C90 B16
- Clevertronics emergency light class 8170 1 x 40w CO D80/C90 C80
- Clevertronics emergency light class 1 x 10w CO C25/C90 C25
- Kasten 2023 wall mounted external light fitting from Eagle lighting
- 1x400w high bay light
- Low voltage light
- 60 watt bayonet light fitting
- Switch and meterboard
- 10 Amp double gpo 1200 above floor
- Direct wiring to HWS
- Light switch
- Mistral 250mm exhaust fan to be ducted to external wall or roof
- 3Phase power for automatic roller shutter

FIRE FIGHTING EQUIPMENT:

- EXISTING EXTERNAL HYDRANT WITH DUAL HEAD
 - EXISTING 38mm HOSE REEL
 - WALL WETTING SPRINKLER HEAD WITH SHUT OFF VALVE
 - 80 B (E) DRY CHEMICAL
 - 9.0kg WATER BASED EXTINGUISHER
 - NEW EXTERNAL HYDRANT WITH DUAL HEAD
 - NEW 38mm HOSE REEL CONNECTED TO 38mm COPPER PIPE TO BE TO BE RUN TO SHUT OFF VALVE AT HOSE REEL
 - 2A 208 (E) DRY CHEMICAL 2.0m FROM ELECTRICAL BOARD
- NOTE: ALL FIRE SERVICES TO BE COPPER TYPE B 16 GAUGE, MIN COVER 600mm

FIRE: EMERGENCY LIGHTING EXIT SIGNS ARE PORTABLE EXIT. DRY WATER FIRE BLANKETS FOR KITCHENS.

DISABLED ACCESS

NOTES	LEGEND
<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40. INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS. PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A. SPEC 3.4 AND AS1428.1 	<p>1 DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 AND AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13)</p> <p>2 DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm</p> <p>3 DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS (1330mm WIDE MINIMUM.)</p>

- GENERAL NOTES:**
- All levels and dimensions must be checked and verified before commencing any work or workshop drawings.
 - DO NOT SCALE DRAWING. Written dimensions take precedence over scale.
 - All works are to be in accordance with S.C.A. Codes, Building Regulations and any relevant council by-laws.
 - This drawing to be read in conjunction with structural drawings & computations.
- ROOFING NOTES:**
- All downpipes profiled (DP) to be 150mm dia. PVC. Gutters 600mm(W) X 200mm (D) [alucalume finish steel sheet, flashed and capped over.
 - Roof decking to be Tindex 0.48mm thick or approved similar alucalume finish steel sheet. Slope 3 degrees LIND. Sarking to underside.
 - Provide 30mm thick wire under roofing 300X150 grid.
 - Use 90X45 FS Seasoned pine framing @ 450mm cts.
 - Ceiling & floor joists as noted.
 - All framing to comply with AS1684
 - All carport and W.C. doors to have self closers (REMOVABLE HINGES)
 - Apply Ceramic tile to:
 - Impervious floors over approved sub-base.
 - 300mm above vanity basins
 - 1800mm high in showers
- FINISHING NOTES:**
- Disabled toilets to comply with AS1428.1
 - The layout of all equipment fixed to be such that actual lengths of travel to exit are no greater than 40m
 - All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action.
- GLAZING NOTES:**
- All glazing to comply with AS1288. Window manufacturer to provide a specification for the Building surveyor, prior to installation.
 - All windows to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-plates in the same powder-coated colour.

AREA: ANALYSIS

TOTAL SITE AREA:	1,265m ²
WAREHOUSE 1 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
WAREHOUSE 2 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
WAREHOUSE 3 FLOOR AREA:	378.53m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
TOTAL BUILT UP AREA:	764.24m ²
CARPARKING:	65.58m ²
TOTAL WORKSHOP AREA (inc. admin / storage area)	65.58m ²
NUMBER OF CAR SPACES	= 500.98m ² / 100 = 5.00 (x1.5) = 7.51
TOTAL CAR SPACES PROVIDED	= 12



GROUND FLOOR PLAN
SCALE 1:100

NATURAL LIGHT
TO BE PROVIDED AT A RATE OF 10% OF AREA

	WAREHOUSE 1	WAREHOUSE OFFICE
FLOOR AREA (m ²)	391.05	104.05
REQUIRED LIGHT AREA (m ²)	39.10	10.40
TRANSLUCENT ROOFING (m ²)	25.20	0
WINDOWS (m ²)	29.16	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	54.36	10.86
CHECK	OK	OK

NATURAL VENTILATION
TO BE PROVIDED AT A RATE OF 5% OF AREA

	WAREHOUSE 1	WAREHOUSE OFFICE
FLOOR AREA (m ²)	391.05	104.05
REQUIRED VENTILATION AREA (m ²)	19.55	5.20
OPENABLE WINDOWS (m ²)	0	5.79
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	20.00	5.79
CHECK	OK	OK

NATURAL LIGHT
TO BE PROVIDED AT A RATE OF 10% OF AREA

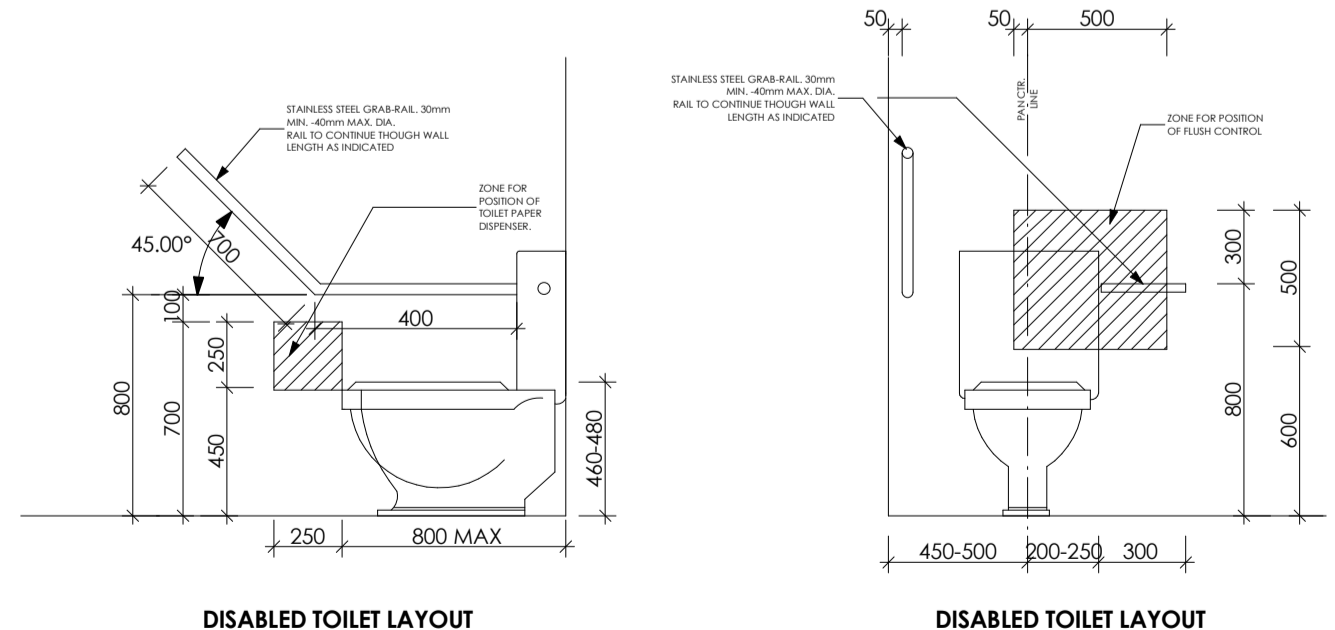
	WAREHOUSE 2	WAREHOUSE OFFICE
FLOOR AREA (m ²)	387.59	106.42
REQUIRED LIGHT AREA (m ²)	38.75	10.64
TRANSLUCENT ROOFING (m ²)	25.74	0
WINDOWS (m ²)	43.45	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	69.19	10.86
CHECK	OK	OK

NATURAL LIGHT
TO BE PROVIDED AT A RATE OF 10% OF AREA

	WAREHOUSE 3	WAREHOUSE OFFICE
FLOOR AREA (m ²)	384.27	104.59
REQUIRED LIGHT AREA (m ²)	38.42	10.45
TRANSLUCENT ROOFING (m ²)	25.44	0
WINDOWS (m ²)	30.37	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	55.81	10.86
CHECK	OK	OK

NATURAL VENTILATION
TO BE PROVIDED AT A RATE OF 5% OF AREA

	WAREHOUSES 2 & 3	WAREHOUSE OFFICE
FLOOR AREA (m ²)	387.59	106.42
REQUIRED VENTILATION AREA (m ²)	19.37	5.32
OPENABLE WINDOWS (m ²)	0	5.79
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	20.00	5.79
CHECK	OK	OK



M7 Design Group Pty. Ltd.
building designers

Registered building practitioner

Project: **(3X) FACTORIES**
At: **LOT 712 RAVENHALL WAY, RAVENHALL**
Client: **TIM RASHIDI**
Job No: **1494** Date: **15.12.16**

Sheet no: **03**

AREA: ANALYSIS	
TOTAL SITE AREA:	1,265m ²
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OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
WAREHOUSE 2 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
TOTAL BUILT UP AREA:	764.24m ²
CARPARKING:	
TOTAL WORKSHOP AREA (inc. admin / storage area)	65.58m ²
NUMBER OF CAR SPACES	= 500.98m ² / 100 = 5.00 (x1.5) = 7.51
TOTAL CAR SPACES PROVIDED	= 12



FIRST FLOOR PLAN

SCALE 1:100

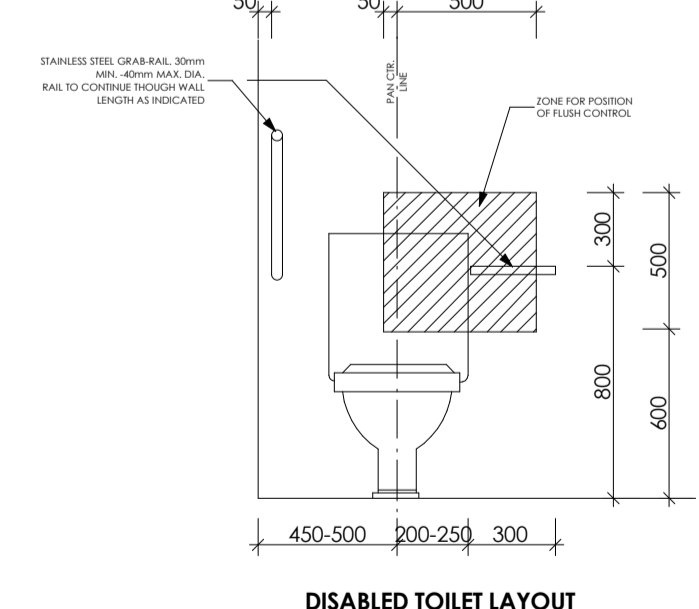
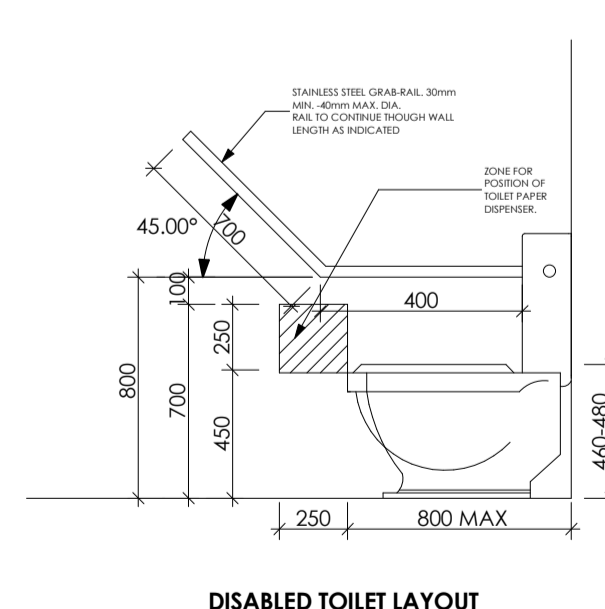
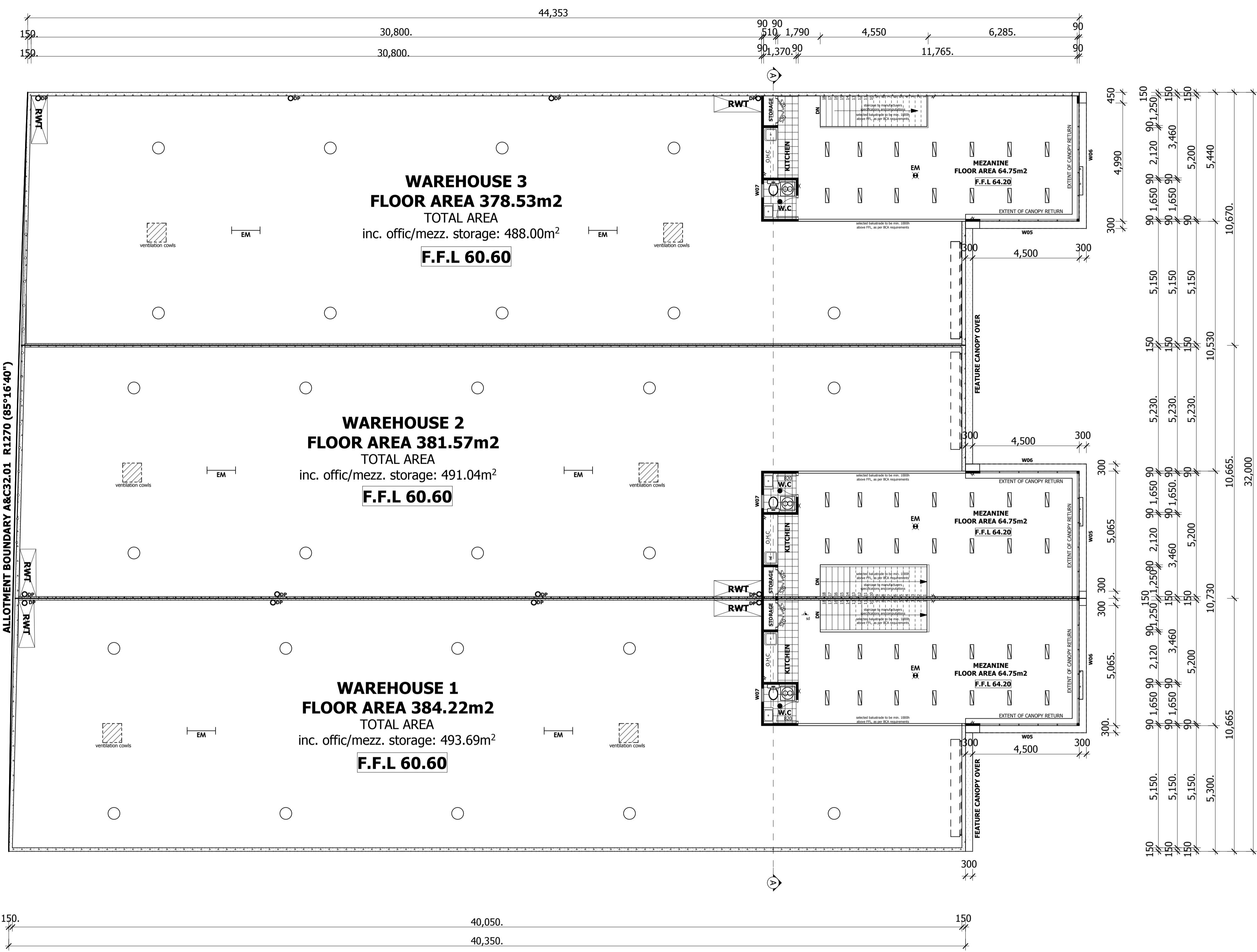
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NATURAL LIGHT		
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	WAREHOUSE 2	WAREHOUSE OFFICE
FLOOR AREA (m ²)	387.59	104.59
REQUIRED LIGHT AREA (m ²)	38.75	10.45
TRANSLUCENT ROOFING (m ²)	25.74	0
WINDOWS (m ²)	43.45	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	69.19	10.86
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NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 3	WAREHOUSE OFFICE
FLOOR AREA (m ²)	384.27	104.59
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- ### ELECTRICAL LEGEND
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 - Clevertronics emergency light class 8170 1 x 40w CO D80/C90 C80
 - Clevertronics emergency light class 1 x 10w CO C25/C90 C25
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 - 60 watt bayonet light fitting
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 - 10 Amp double gpo 1200 above floor
 - Direct wiring to HWS
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 - Mistral 250mm exhaust fan to be ducted to external wall or roof
 - 3Phase power for automatic roller shutter

- ### FIRE FIGHTING EQUIPMENT:
- EXISTING EXTERNAL HYDRANT WITH DUAL HEAD
 - EXISTING 38mm HOSE REEL
 - WALL WETTING SPRINKLER HEAD WITH SHUT OFF VALVE
 - 80 B (E) DRY CHEMICAL
 - 9.0kg WATER BASED EXTINGUISHER
 - NEW EXTERNAL HYDRANT WITH DUAL HEAD
 - NEW 38mm HOSE REEL CONNECTED TO 38mm COPPER PIPE TO BE TO BE RUN TO SHUT OFF VALVE AT HOSE REEL
 - 2A 20B (E) DRY CHEMICAL 2.0m FROM ELECTRICAL BOARD
- NOTE: ALL FIRE SERVICES TO BE COPPER TYPE B 16 GAUGE, MIN COVER 600mm

FIRE: EMERGENCY LIGHTING EXIT SIGNS ARE PORTABLE EXIT. DRY WATER FIRE BLANKETS FOR KITCHENS.

DISABLED ACCESS

NOTES

GENERAL NOTES:
EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40.

INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS.

PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A. SPEC 3.4 AND AS1428.1

GENERAL NOTES:
a. All levels and dimensions must be checked and verified before commencing any work or workshop drawings.
b. DO NOT SCALE DRAWING. Written dimensions take precedence over scale.
c. All works are to be in accordance with SCA, S44 Codes, Building Regulations and any relevant council by-laws.
d. This drawing to be read in conjunction with structural drawings & computations

ROOFING NOTES:

- a. All downpipes rooled (DR) to be 150mm dia. PVC. Gutters 600mm(W) x 200mm (D) (galvalume finish steel sheet, flashed and capped over.
- b. Roof decking to be Tintex 0.48mm thick or approved similar aluminium finish steel sheet. Slope 3 degrees LIND. Sarking to underside.
- c. Insulate acrylic rooflighting to match steel deck profile. To be kept a minimum of 1000mm clear of gutters side boundaries and ridge.
- d. Provide 3.0mm thick wire under roofing 300x150 grid.

ANNEXURES NOTES:

- a. Use 90x45 FS Seasoned pine framing @ 450mm cts.
- b. Ceiling & floor joists as noted.
- c. All framing to comply with AS1684
- d. All atlock and W.C. doors to have self closers (REMOVABLE HINGES)
- e. Apply Ceramic tile to:
 - imp previous floors over approved sub-base.
 - 300mm above vanity basins
 - 1800mm high in showers

FIRE FIGHTING NOTES:

- a. Disabled labels to comply with AS1428.1
- b. The layout of all equipment fixed to be such that actual lengths of travel to exit are no greater than 40m
- c. All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action.

GLAZING NOTES:

- a. All glazing to comply with AS1288. Window manufacturer to provide a specification for the Building surveyor, prior to installation.
- b. All windows to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-plates in the same powder-coated colour.

LEGEND

1 DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 AND AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13)

2 DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm

3 DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS (1330mm WIDE MINIMUM.)

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Proposed: **(3X) FACTORIES**

At: **LOT 712 RAVENHALL WAY, RAVENHALL**

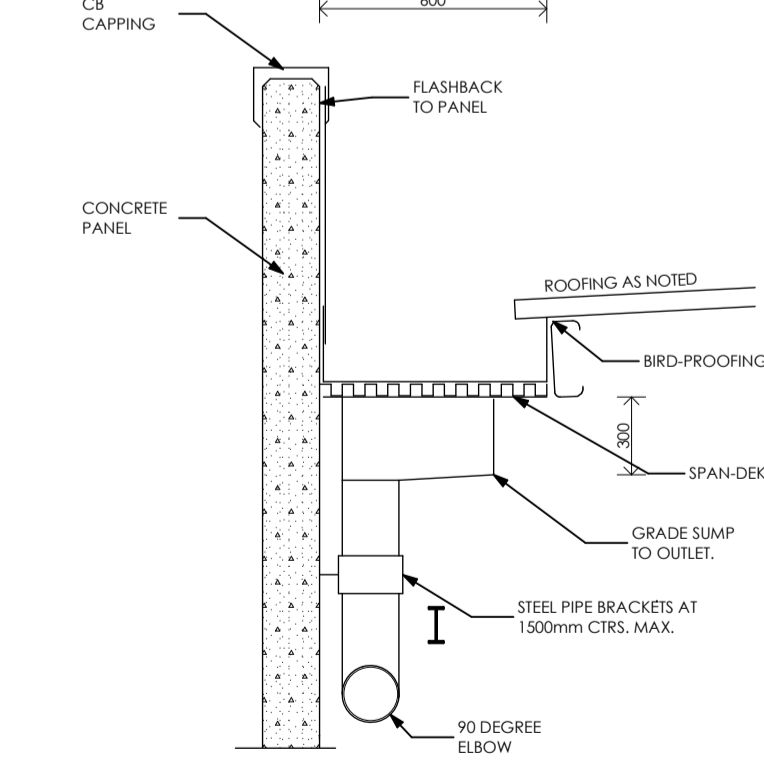
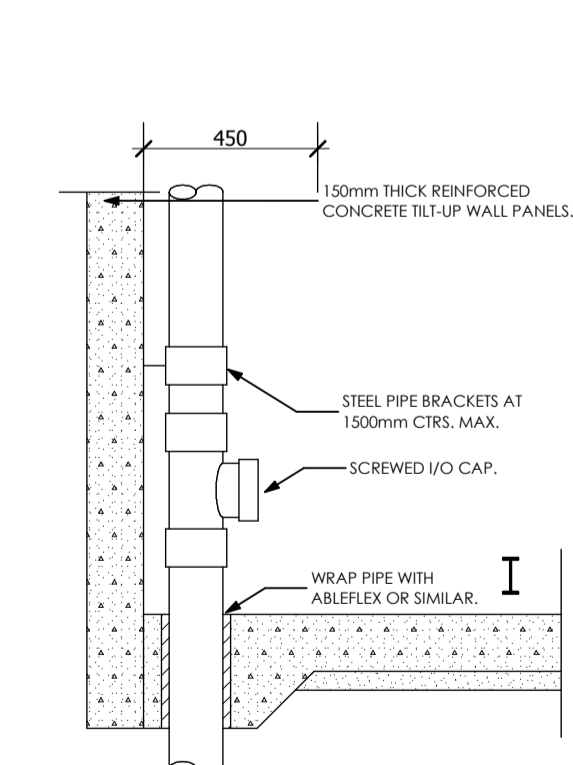
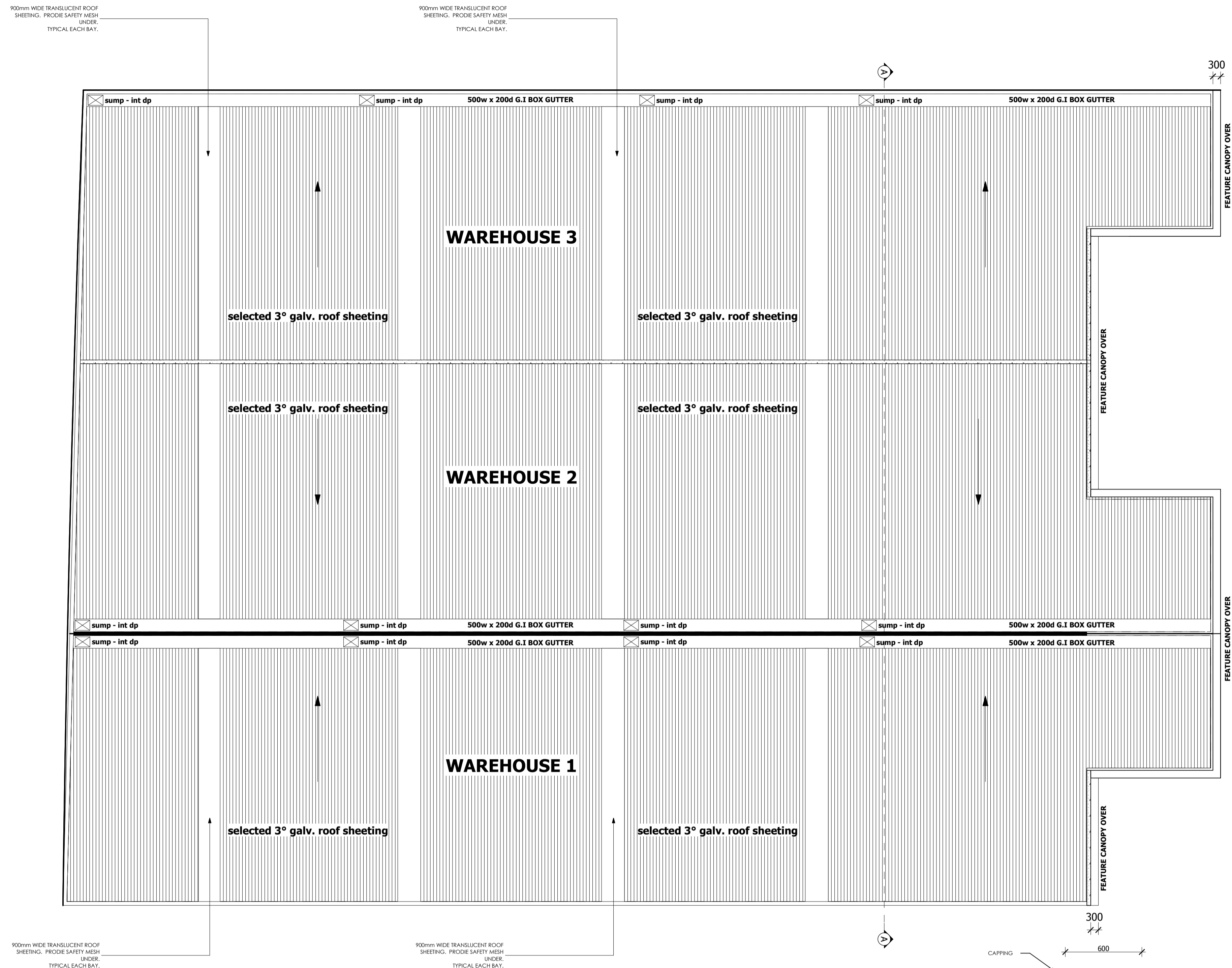
Client: **TIM RASHIDI**

Job No: **1494** Date: **15.12.16**

date	amendments

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sheet no: **0-4**



AREA: ANALYSIS	
TOTAL SITE AREA:	1,265m ²
WAREHOUSE 1 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
WAREHOUSE 2 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
WAREHOUSE 3 FLOOR AREA:	349.33m ²
OFFICE FLOOR AREA:	32.79m ²
LAND AREA:	632.50m ²
TOTAL BUILT UP AREA:	764.24m ²
CARPARKING:	
TOTAL WORKSHOP AREA (inc. admin / storage area)	65.58m ²
NUMBER OF CAR SPACES	= 500.98m ² / 100 = 5.00 (x1.5) = 7.51
TOTAL CAR SPACES PROVIDED	= 12

ROOF PLAN

SCALE 1:100

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 1	WAREHOUSE OFFICE
FLOOR AREA (m ²)	391.05	104.05
REQUIRED LIGHT AREA (m ²)	39.10	10.40
TRANSLUCENT ROOFING (m ²)	25.20	0
WINDOWS (m ²)	29.16	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	54.36	10.86
CHECK	OK	OK

NATURAL VENTILATION		
TO BE PROVIDED AT A RATE OF 5% OF AREA		
	WAREHOUSE 1	WAREHOUSE OFFICE
FLOOR AREA (m ²)	391.05	104.05
REQUIRED VENTILATION AREA (m ²)	19.55	5.20
OPENABLE WINDOWS (m ²)	0	5.79
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	20.00	5.79
CHECK	OK	OK

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 2	WAREHOUSE OFFICE
FLOOR AREA (m ²)	387.59	106.42
REQUIRED LIGHT AREA (m ²)	38.75	10.64
TRANSLUCENT ROOFING (m ²)	25.74	0
WINDOWS (m ²)	43.45	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	69.19	10.86
CHECK	OK	OK

NATURAL LIGHT		
TO BE PROVIDED AT A RATE OF 10% OF AREA		
	WAREHOUSE 3	WAREHOUSE OFFICE
FLOOR AREA (m ²)	384.27	104.59
REQUIRED LIGHT AREA (m ²)	38.42	10.45
TRANSLUCENT ROOFING (m ²)	25.44	0
WINDOWS (m ²)	30.37	10.86
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	55.81	10.86
CHECK	OK	OK

NATURAL VENTILATION		
TO BE PROVIDED AT A RATE OF 5% OF AREA		
	WAREHOUSE 2 & 3	WAREHOUSE OFFICE
FLOOR AREA (m ²)	387.59	106.42
REQUIRED VENTILATION AREA (m ²)	19.37	5.32
OPENABLE WINDOWS (m ²)	0	5.79
ROLLER DOORS (m ²)	20.00	0
TOTAL (m ²)	20.00	5.79
CHECK	OK	OK

M7 Design Group Pty. Ltd.
building designers

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Proposed: **(3X) FACTORIES**

At: **LOT 712 RAVENHALL WAY, RAVENHALL**

Client: **TIM RASHIDI**

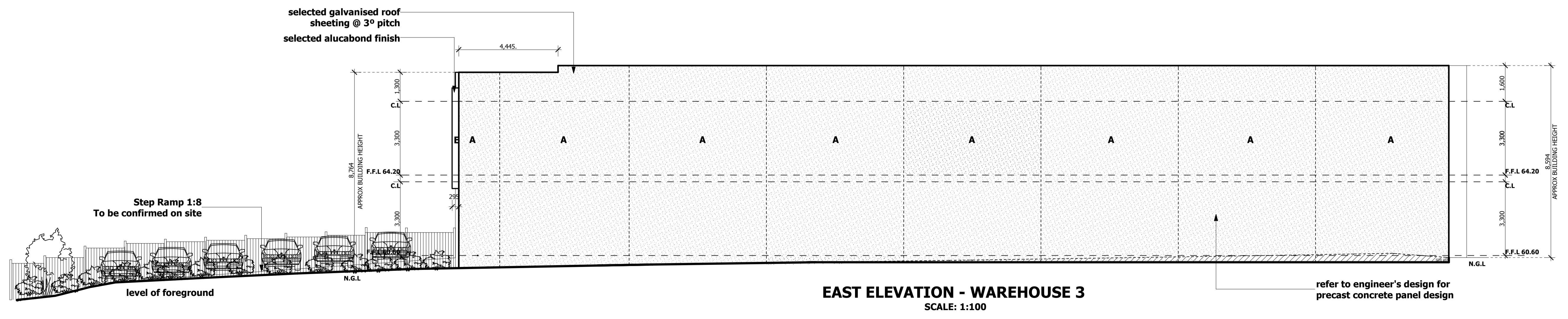
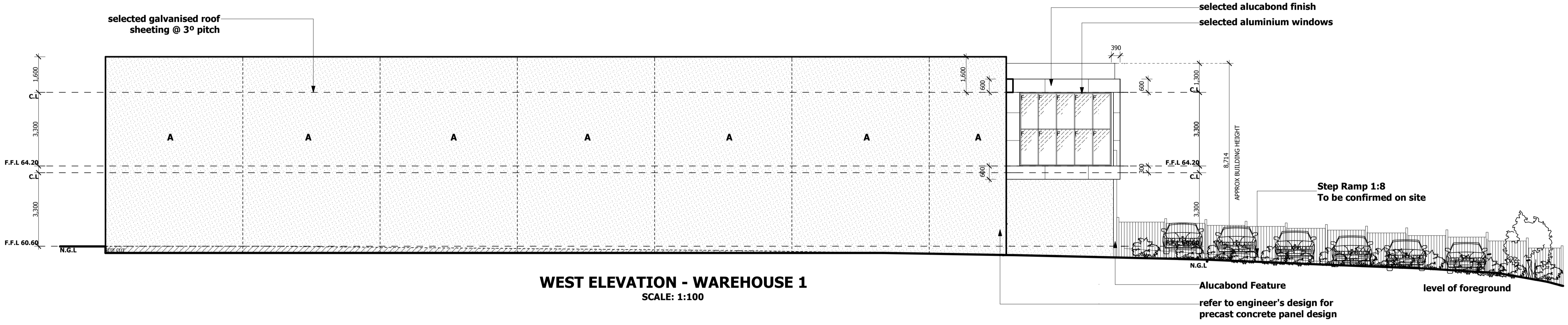
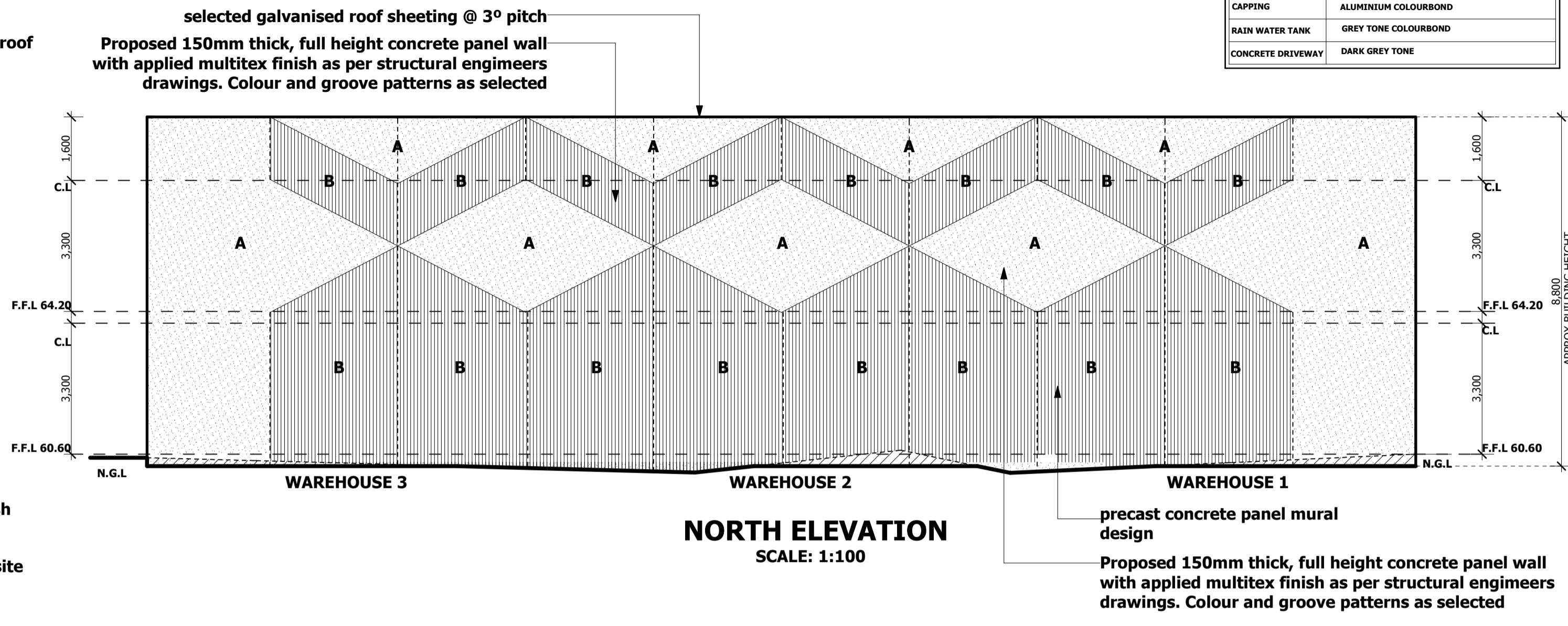
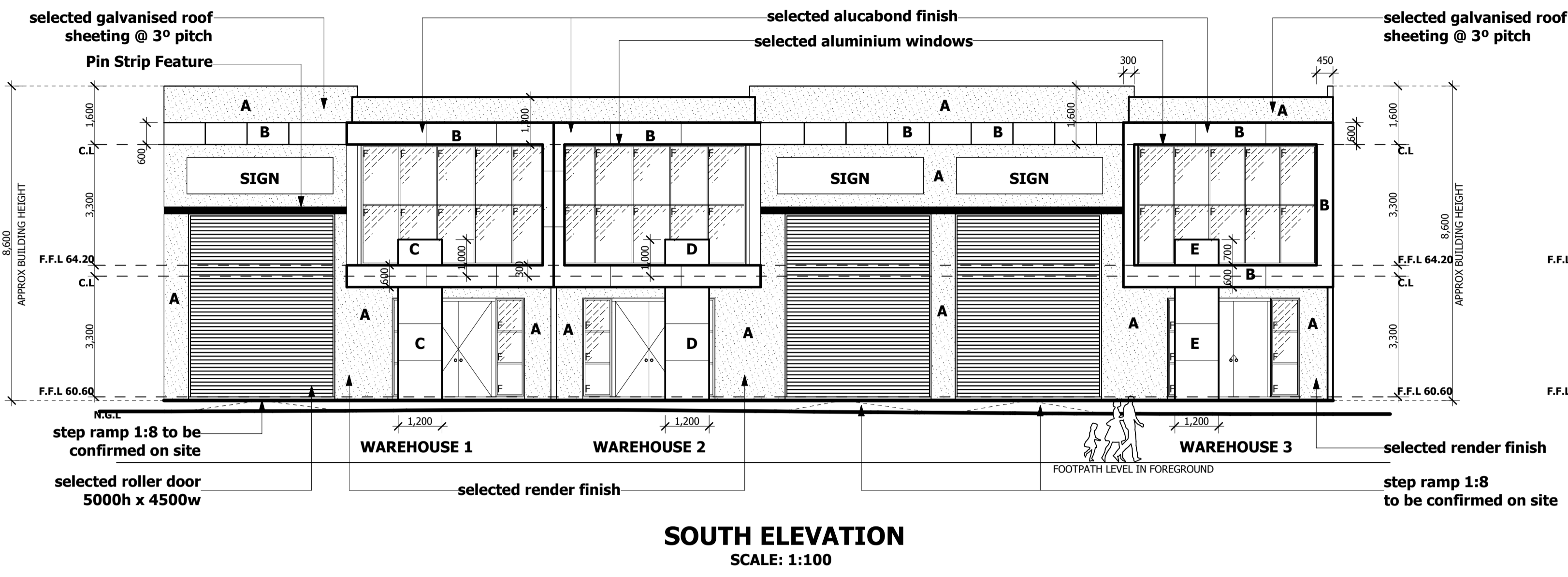
Job No: **1494** Date: **15.12.16**

date	amendments

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sheet no: **05**

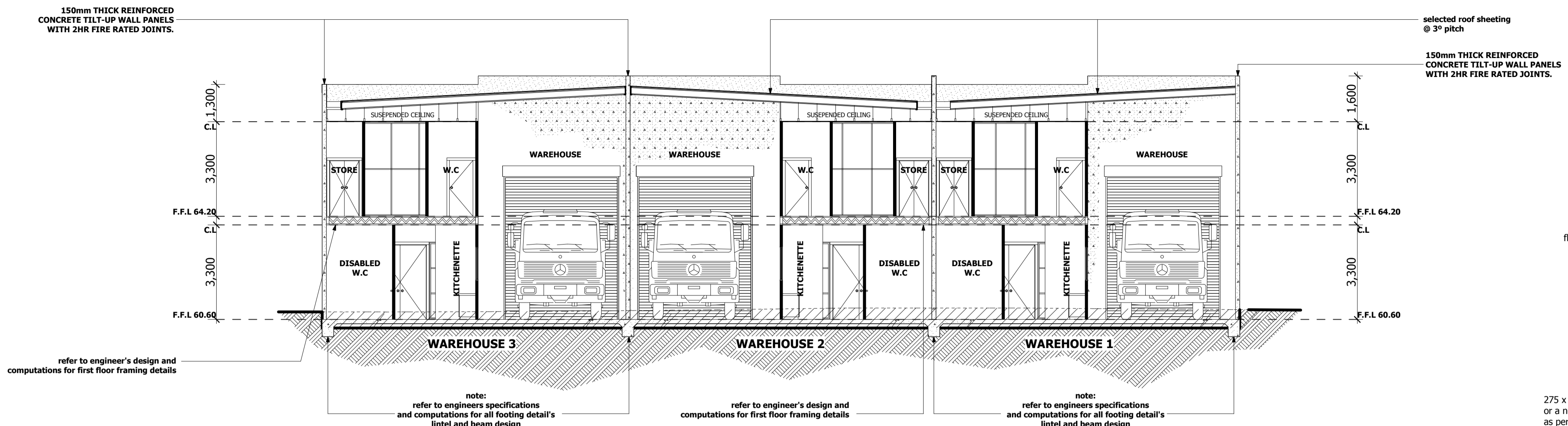
MATERIALS SCHEDULE	
ITEM	COLOURS
WALLS	(A) Monument (dulux) - or similar
EXTERNAL SURFACE	(B) Timeless Grey (dulux) - or similar
	(C) Dance Studio (dulux) - or similar
	(D) Techno Green (dulux) - or similar
	(E) Bright Delight (dulux) - or similar
WINDOWS / DOORS	POUNDERCOAT ALUMINIUM (BLACK TONE)
ROLLER DOOR	GALVONISED POWDERCOAT (BLACK TONE)
CAPPING	ALUMINIUM COLOURBOND
RAIN WATER TANK	GREY TONE COLOURBOND
CONCRETE DRIVEWAY	DARK GREY TONE



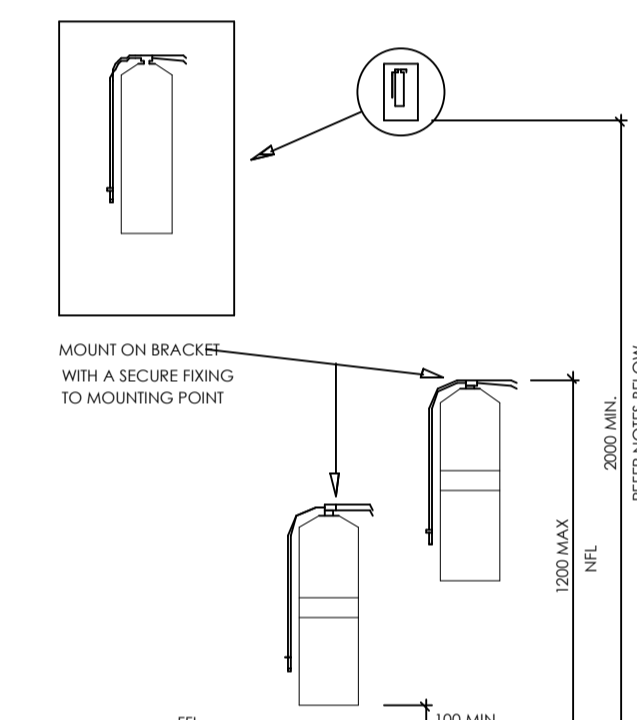
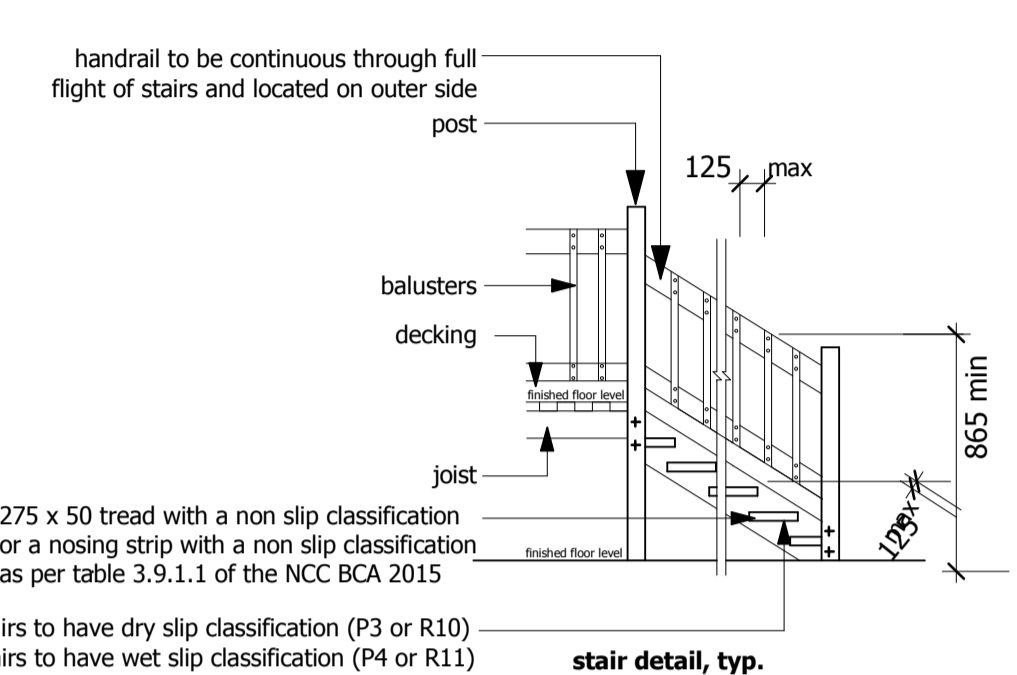
M7 Design Group Pty. Ltd. building designers registered building practitioner	Proposed:	(3X) FACTORIES	date	amendments
	At:	LOT 712 RAVENHALL WAY, RAVENHALL		
	Client:	TIM RASHIDI		
	Job No:	1494	Date:	15.12.16

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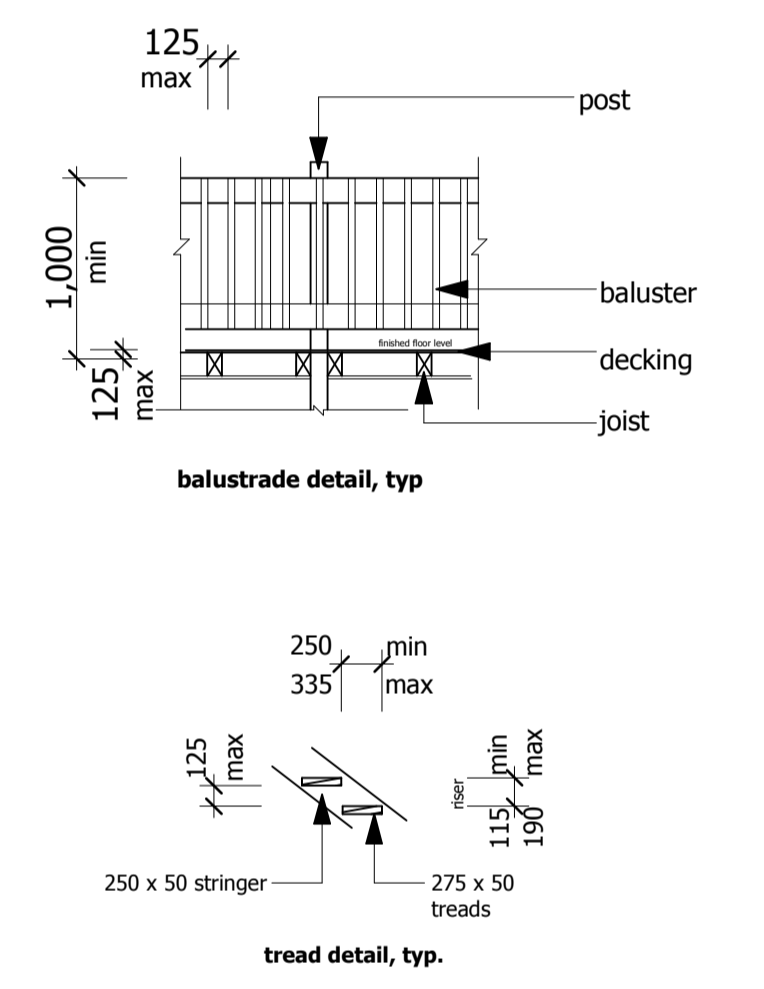
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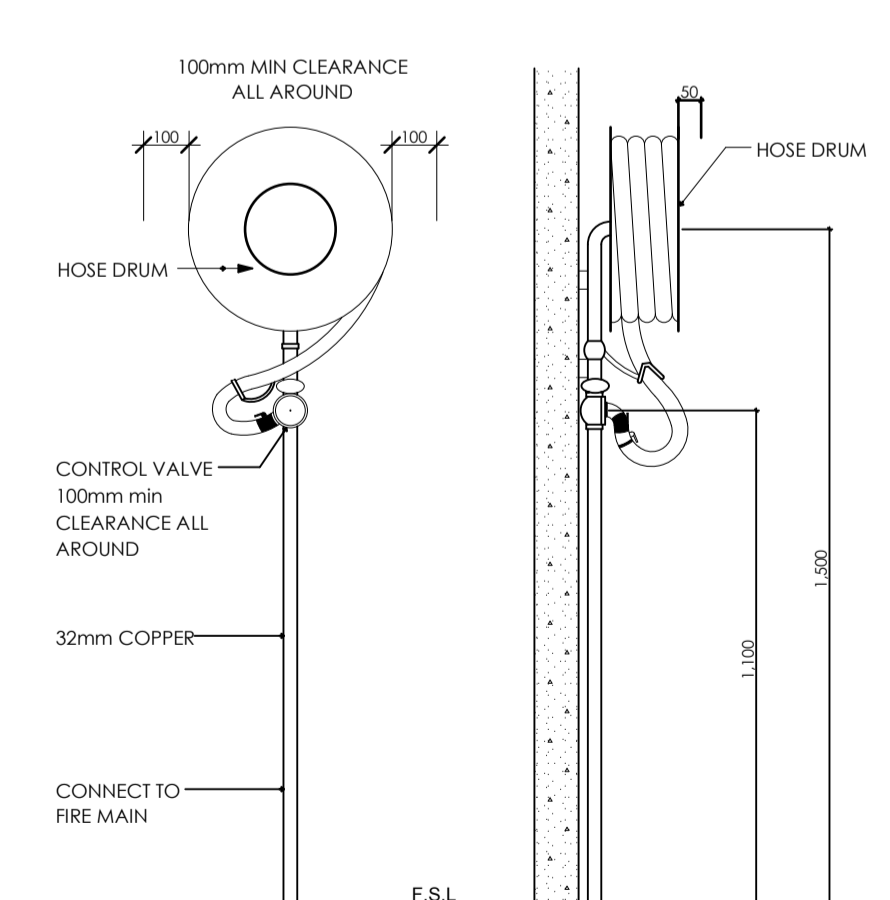
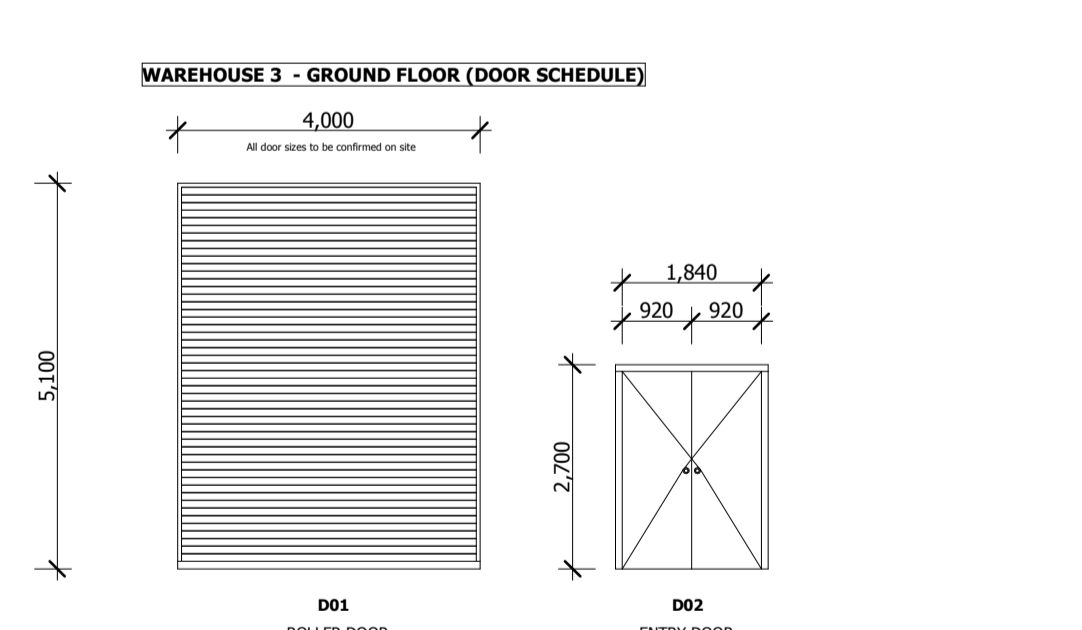
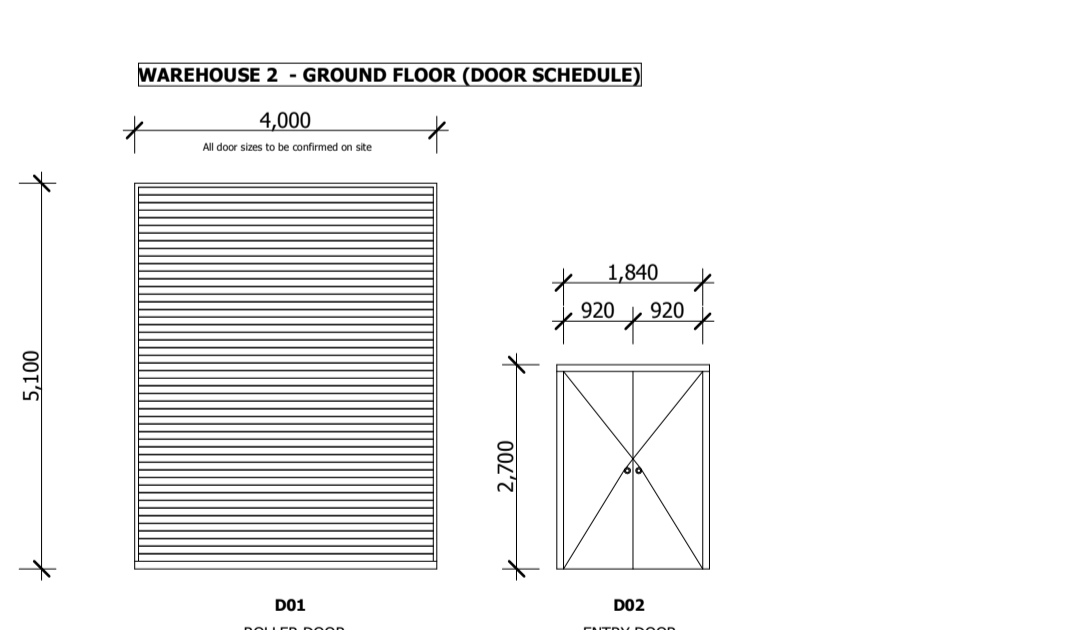
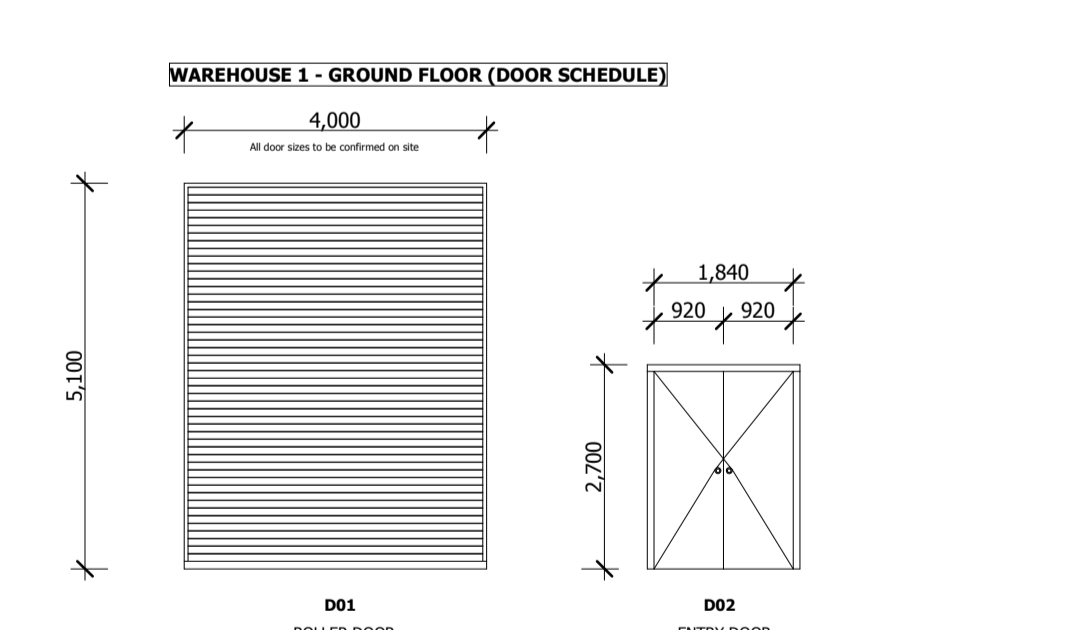
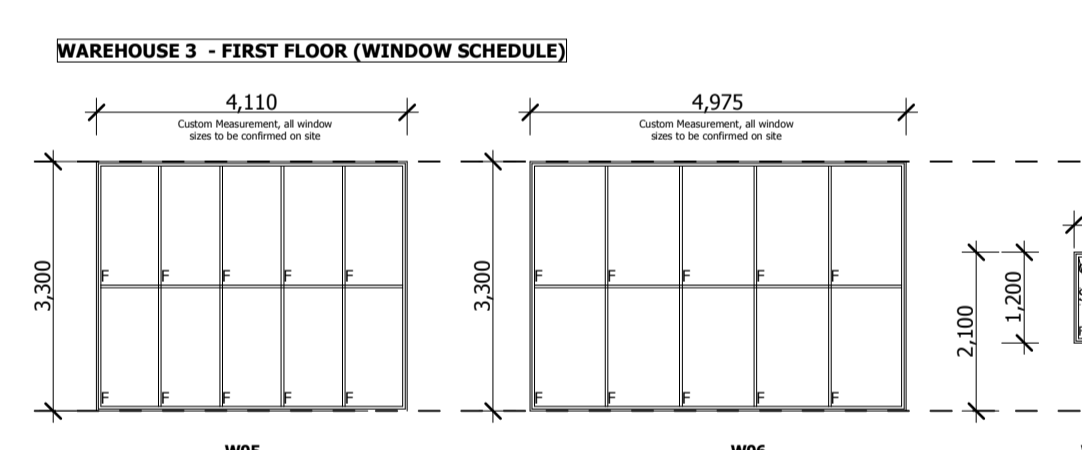
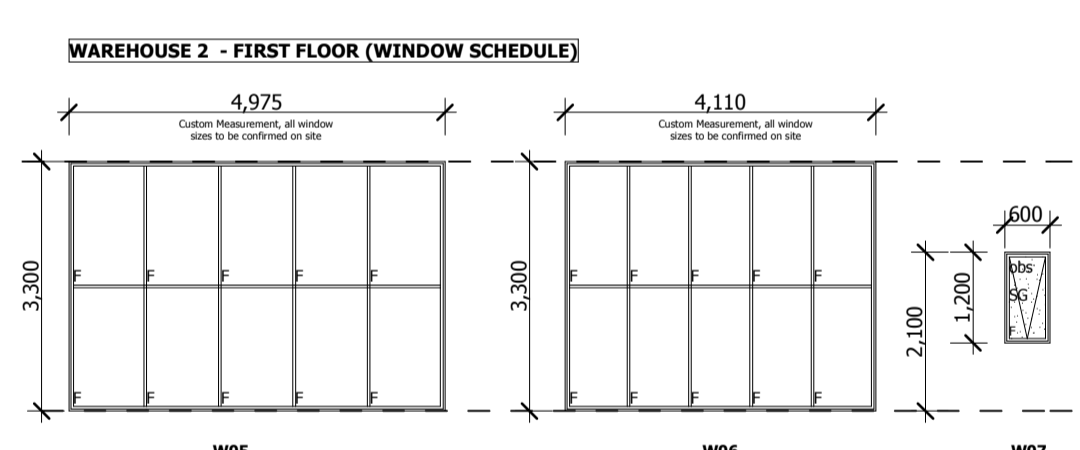
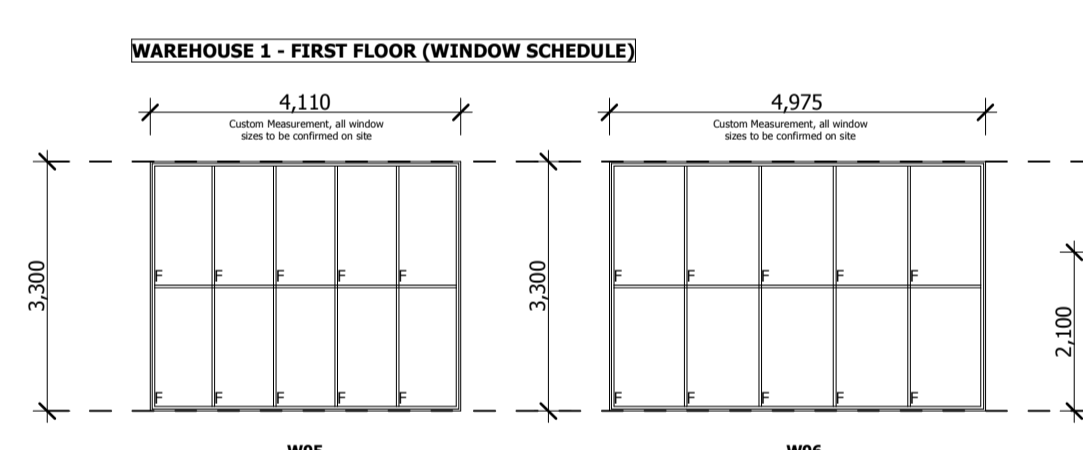
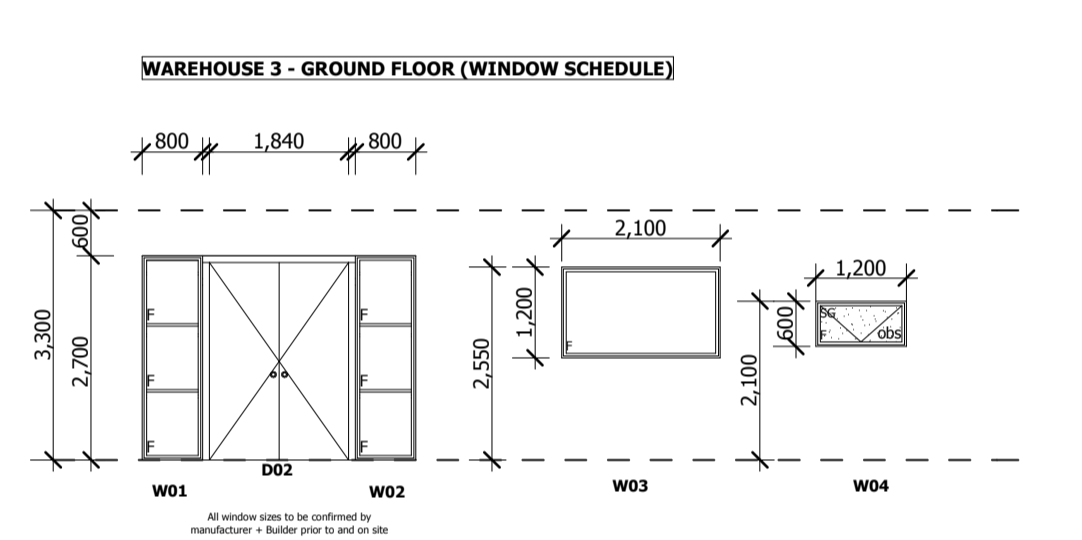
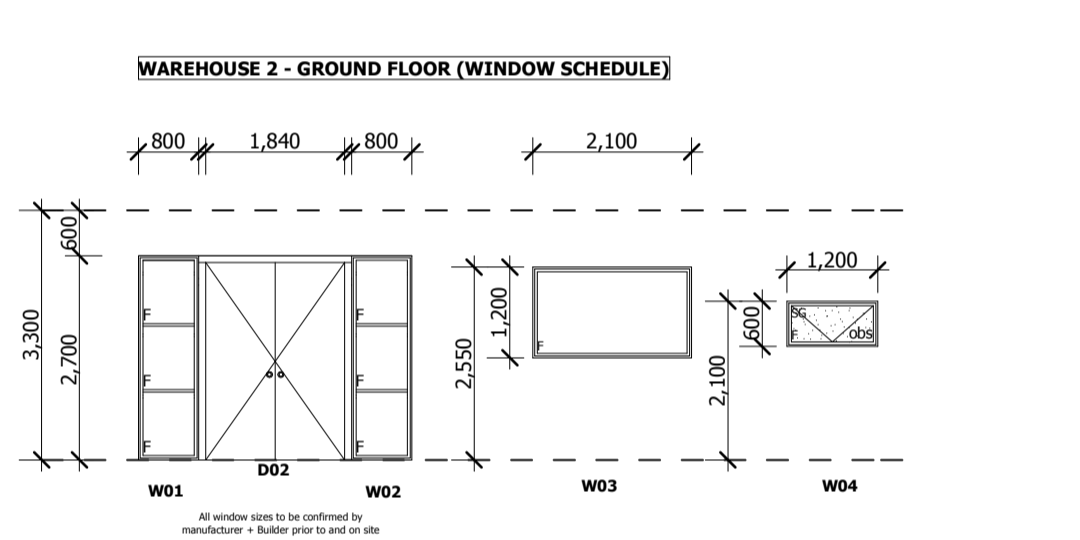
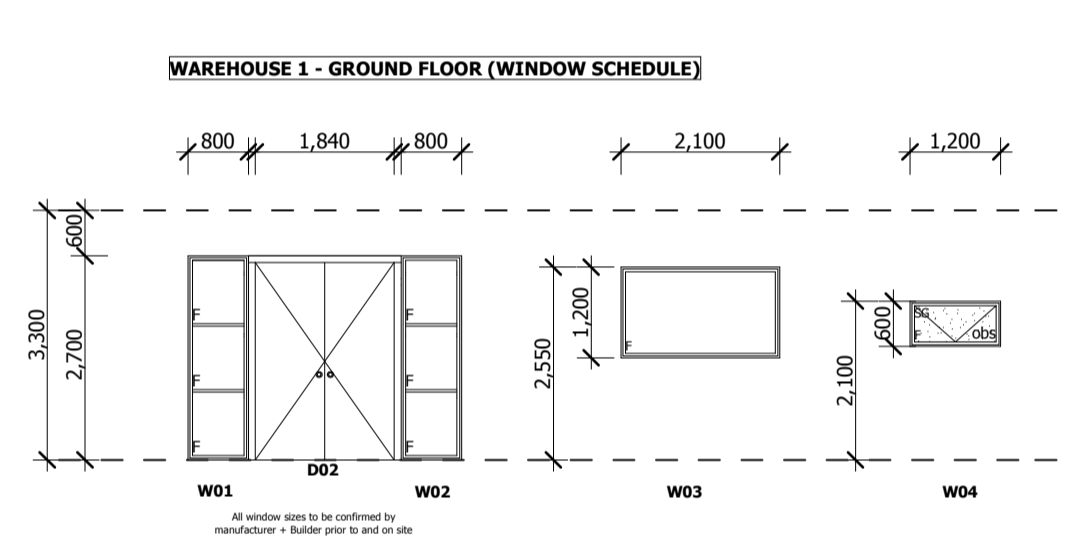
SECTION A-A
SCALE: 1:100



EXTINGUISHER INSTALLATION DETAIL
LOCATION SIGN
LOCATE & MOUNT IN ACCORDANCE WITH AS 2444 CL 3.3.3
SIGN TO BE LOCATED TO BE VISIBLE FROM 15m & ALL DIRECTIONS OF APPROACH. PROVIDE ADDITIONAL SIGN OR SIGNS PERPENDICULAR TO THE WALL WHERE INSTALLED IN CORRIDORS.
FIXING POINT HEIGHT
PREFERRED EXT. MOUNTING HEIGHT 2A (808E) = 900 AFFL
PREFERRED EXT. MOUNTING HEIGHT 2D & 408(E) = 1200 AFFL



in a stairway, a min 2m height must be achieved measured vertically above the nosing line at any point and stairs to not exceed 18 risers



1. MANUFACTURE HOSE REEL IN ACCORDANCE WITH AS 1221-1/91
2. INSTALL HOSE REEL IN ACCORDANCE WITH AS 2441-1/98
3. HOSE LENGTH 36m x 19mm Ø, FIT 6mm NOZZLE

INTERNAL HOSE REEL INSTALLATION
NOTE: 100mm min CLEARANCE REQUIRED ALL AROUND DRUM & VALVE
NOTE: REELS INSTALLED IN CUPBOARDS SHALL BE INSTALLED AS CLOSE PRACTICAL TO THE BACK OF THE DOOR AND NOT MORE THAN 50mm FROM THE BACK OF THE DOOR PROVIDE 50mm SIGN 'FIRE HOSE REEL'.

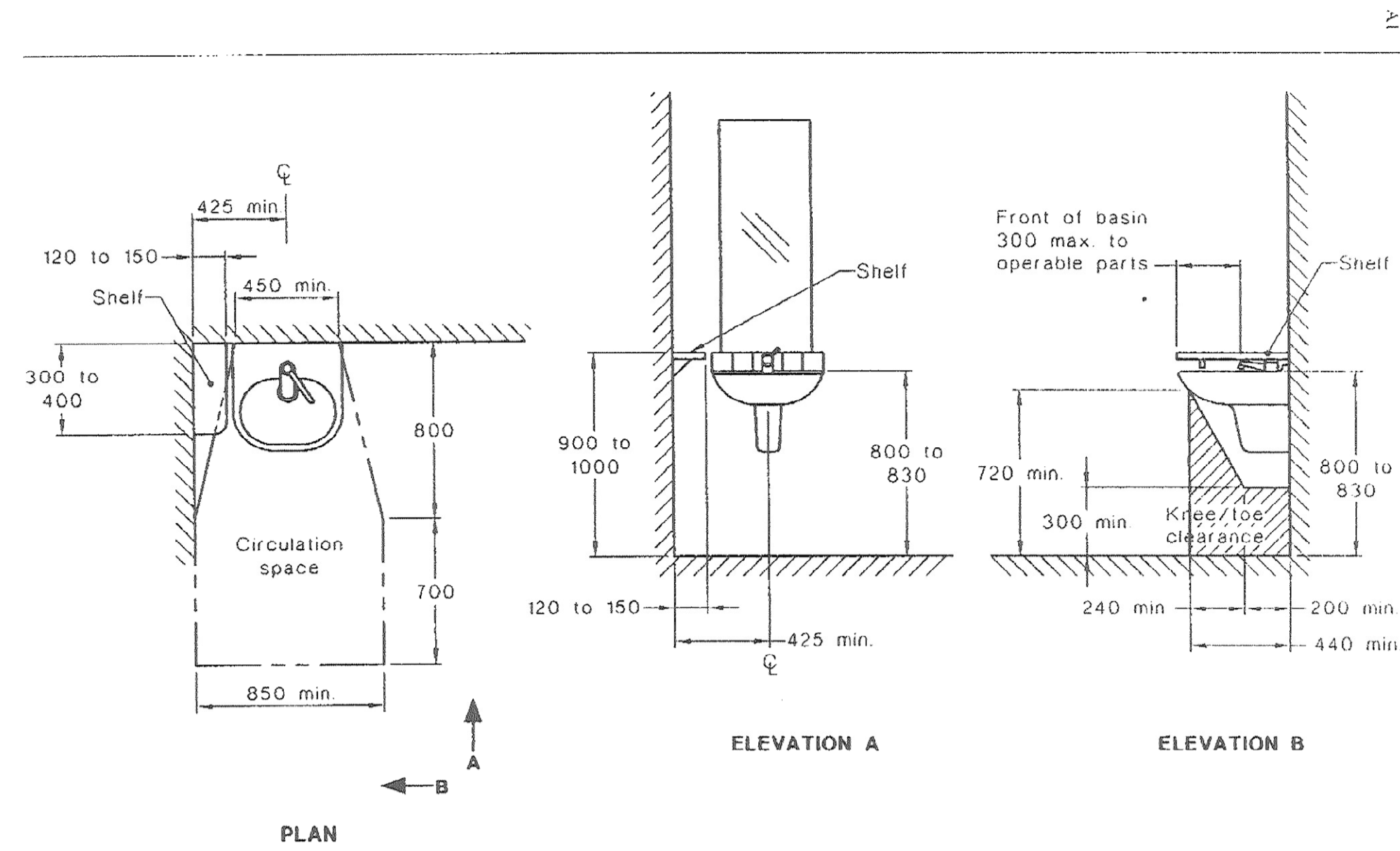
DISABLED ACCESS	
NOTES	LEGEND
<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> EXTERNAL PARKING BAYS ARE TO HAVE A GRADIENT OF NO GREATER THAN 1:40. INTERNAL DOORS TO HAVE A MINIMUM OPENING WIDTH OF 850mm FOR DISABLED ACCESS. PROVIDE DISABLED SIGNAGE THROUGHOUT THE SITE IN ACCORDANCE WITH B.C.A. SPEC 3.4 AND AS1428.1 	<p>1 DENOTES DISABLED PARKING SPACES. THESE SPACES SHALL BE CONSTRUCTED IN ACCORDANCE WITH AS1428.1, AS1428.2 AND AS2890.1. PROVIDE VERTICAL SIGNAGE TO THESE SPACES IN ACCORDANCE WITH AS2890.1 & AS1428.1 (CLAUSE 13)</p> <p>2 DENOTES MAIN ENTRANCE DOORS WITH A MINIMUM CLEAR OPENING OF 850mm</p> <p>3 DENOTES FLAT LANDING AREA FOR WHEELCHAIR ACCESS (1330mm WIDE MINIMUM.)</p>
<p>GENERAL NOTES:</p> <ul style="list-style-type: none"> All levels and dimensions must be checked and verified before commencing any work or workshop drawings. DO NOT SCALE DRAWINGS. Written dimensions take precedence over scale. All works are to be in accordance with B.C.A. Codes, Building Regulations and any relevant council by-laws. This drawing to be read in conjunction with structural drawings & computations <p>ROOFING NOTES:</p> <ul style="list-style-type: none"> All downpipes noted (DP) to be 150mm dia. PVC. Gutters 600mm(W) x 200mm (D) (Jaliscoume finish steel sheet, flashed and capped over. Roof decking to be 12mm x 0.48m thick or approved similar structural finish steel sheet. Slope 3 degrees UHO. Sarking to underside. Insulate acrylic rooflighting to match steel deck profile. To be kept a minimum of 1000mm clear of gutters side boundaries and ridge. Provide 30mm thick wire under roofing 300x150 grid. <p>ANNEXES NOTES:</p> <ul style="list-style-type: none"> Use 90x45 FS Seasoned pine framing @ 450mm cts. Ceiling & floor joists as noted. All framing to comply with AS1684 All airlock and W.C. doors to have self closers (REMOVABLE HINGES) Apply Ceramic tiles to: <ul style="list-style-type: none"> in previous floors over approved sub-base. 300mm above vanity basins 1800mm high in showers <p>FIRE FIGHTING NOTES:</p> <ul style="list-style-type: none"> Disabled toilets to comply with AS1428.1 The layout of all equipment fixed to be such that actual lengths of travel to exit are no greater than 40.0m All escape doors to be fitted with latches operable from inside without the use of a key by a single handed action. All glazing to comply with AS1288. Window manufacturer to provide a specification for the Building surveyor, prior to installation. All windows to be Aluminium framed "Commercial" type sections, powder coated to selected colour. Window fabricator to provide all angles and cover-slates in the same powder-coated colour. 	

WINDOW LEGEND	
F.	DENOTES - Fixed Glazing
O.	DENOTES - Operable Glazing
SL.	DENOTES - Sliding Door
OBS	DENOTES - Obscured Glazing
SG	DENOTES - Safety Glass as per AS1288
CP	DENOTES - All glazing to be Pilkington comfort plus or similar

NOTE: WINDOW SIZES AND STYLES ARE NOMINAL ONLY & ARE MEASURED INTERNALLY BETWEEN REVEALS. ACTUAL WINDOW SIZES MAY VARY DEPENDING ON THE MANUFACTURERS STANDARDS. THE OWNER IS TO CONFIRM THE SIZES WITH THE BUILDER'S WINDOW MANUFACTURER PRIOR TO COMMENCEMENT. WINDOWS TO BE FLASHED AS REQUIRED ALL WINDOWS ARE TO BE IN ACCORDANCE WITH A.S. 1288

NOTE: WINDOW SIZES AND STYLES ARE NOMINAL ONLY & ARE MEASURED INTERNALLY BETWEEN REVEALS. ACTUAL WINDOW SIZES MAY VARY DEPENDING ON THE MANUFACTURERS STANDARDS. THE OWNER IS TO CONFIRM THE SIZES WITH THE BUILDER'S WINDOW MANUFACTURER PRIOR TO COMMENCEMENT. WINDOWS TO BE FLASHED AS REQUIRED ALL WINDOWS ARE TO BE IN ACCORDANCE WITH A.S. 1288

<p>M7 Design Group Pty. Ltd. building designers</p> <p>registered building practitioner</p>	<p>Proposed: (3X) FACTORIES</p> <p>At: LOT 712 RAVENHALL WAY, RAVENHALL</p> <p>Client: TIM RASHIDI</p> <p>Job No: 1494 Date: 15.12.16</p>	<table border="1"> <thead> <tr> <th>date</th> <th>amendments</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	date	amendments						
	date	amendments								
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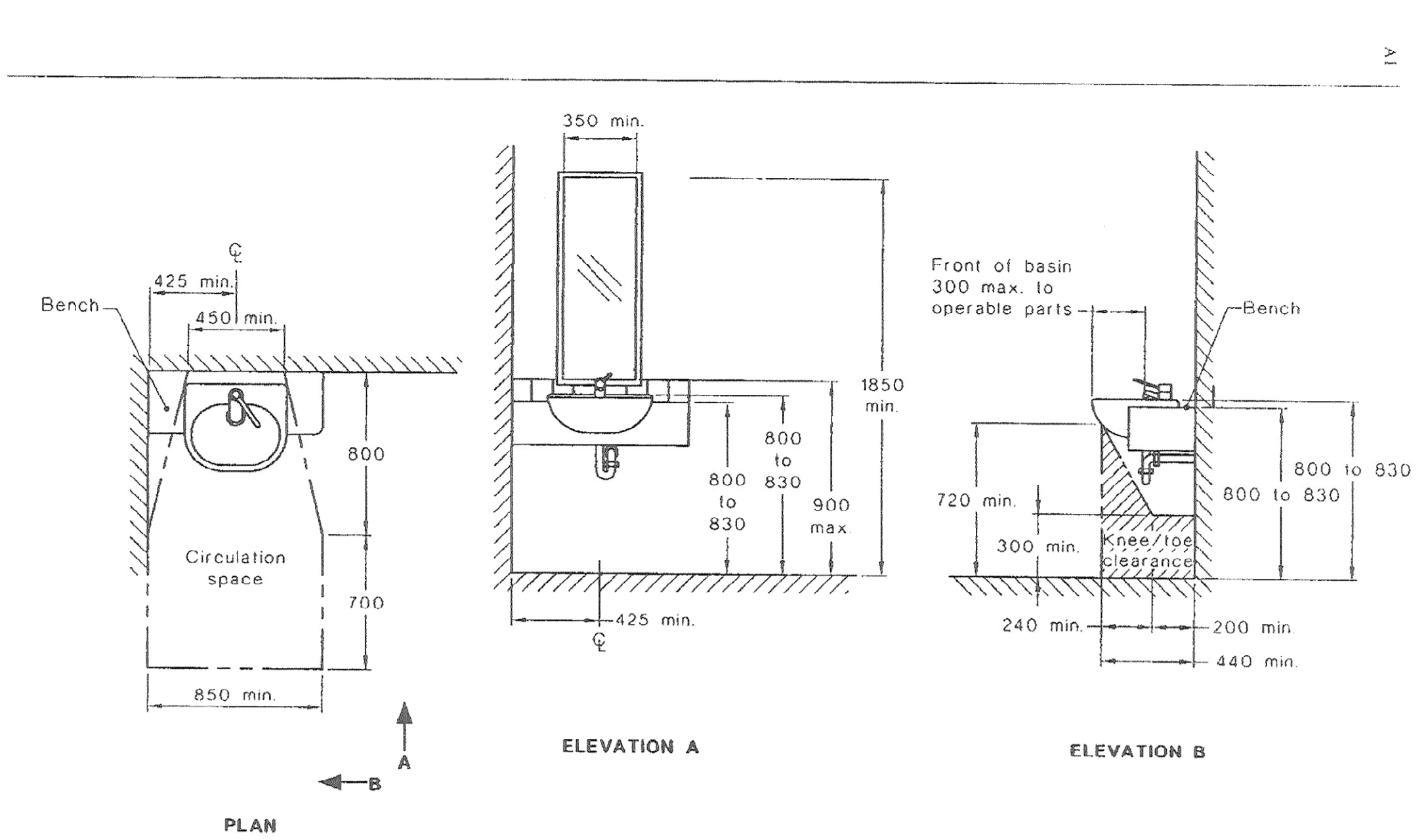


NOTE: 'Operable parts' means the centre-line of the tap or, where a level handle is provided, the end point of the level measure throughout its arc of movement, or where a sensor is provided where the sensor is reliably activated.

DIMENSIONS IN MILLIMETRES

FIGURE 44(B) WALL-MOUNTED WASHBASIN INSTALLATION—OTHER THAN FOR SOLE-OCCUPANCY UNIT

AS 1428.1—2009



NOTE: 'Operable parts' means the centre-line of the tap, or where a level handle is provided, the end point of the level measure throughout its arc of movement, or where a sensor is provided where the sensor is reliably activated.

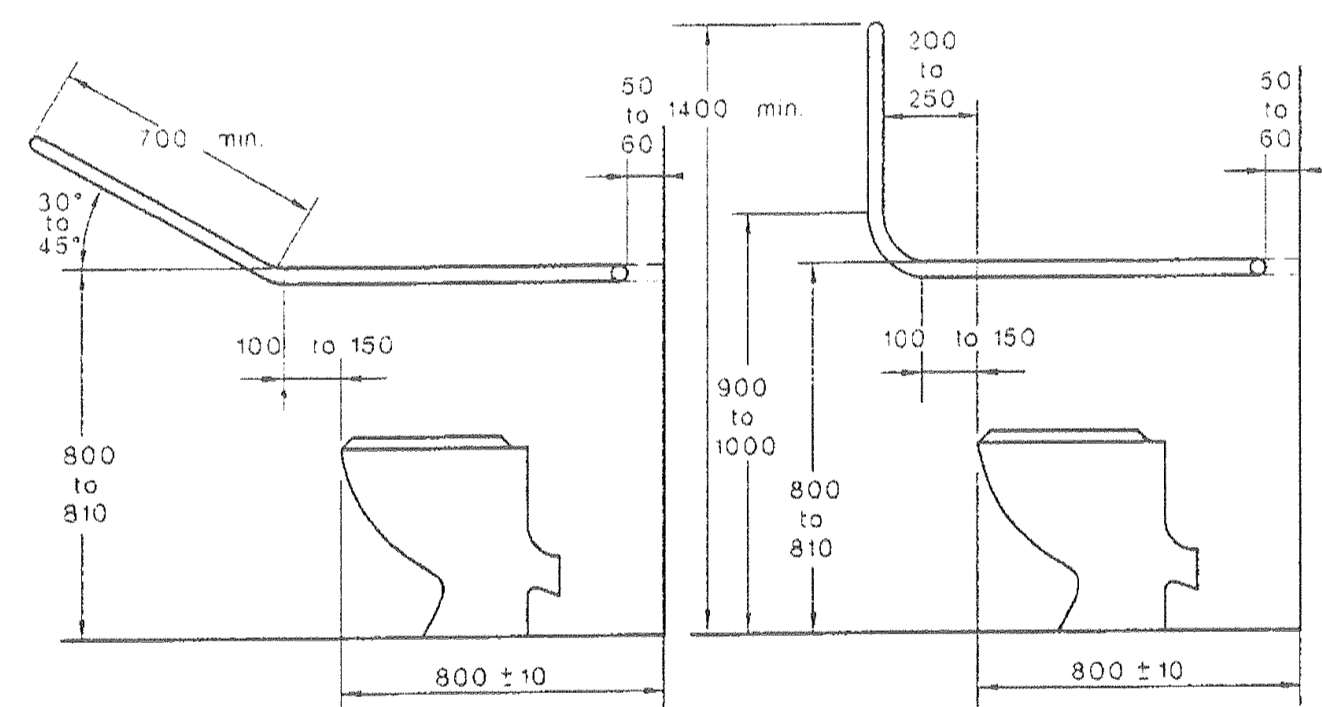
DIMENSIONS IN MILLIMETRES

FIGURE 44(A) SEMI-RECESSED WASHBASIN INSTALLATION—OTHER THAN FOR SOLE-OCCUPANCY UNIT

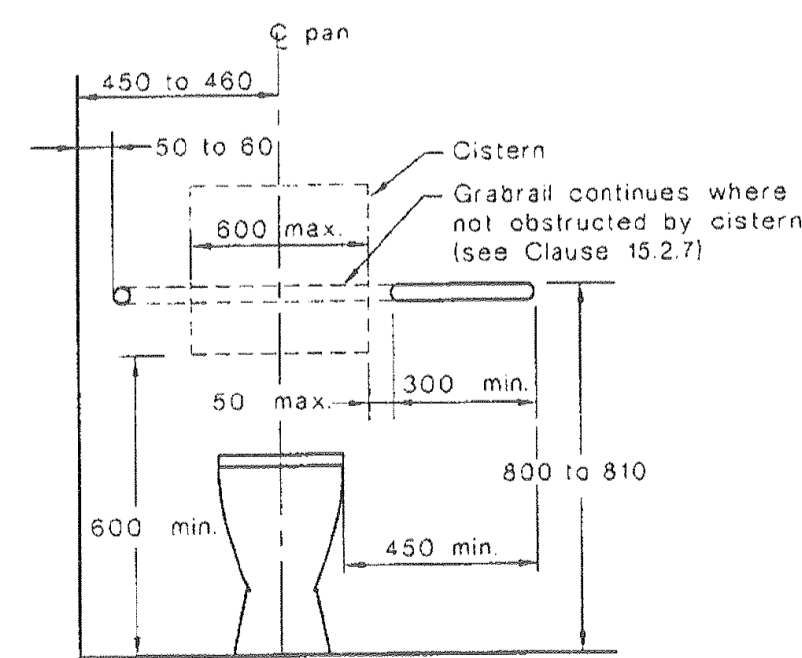
AS 1428.1—2009

AS 1428.1—2009

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(a) Side view showing optional systems for grabrail at sides of pan



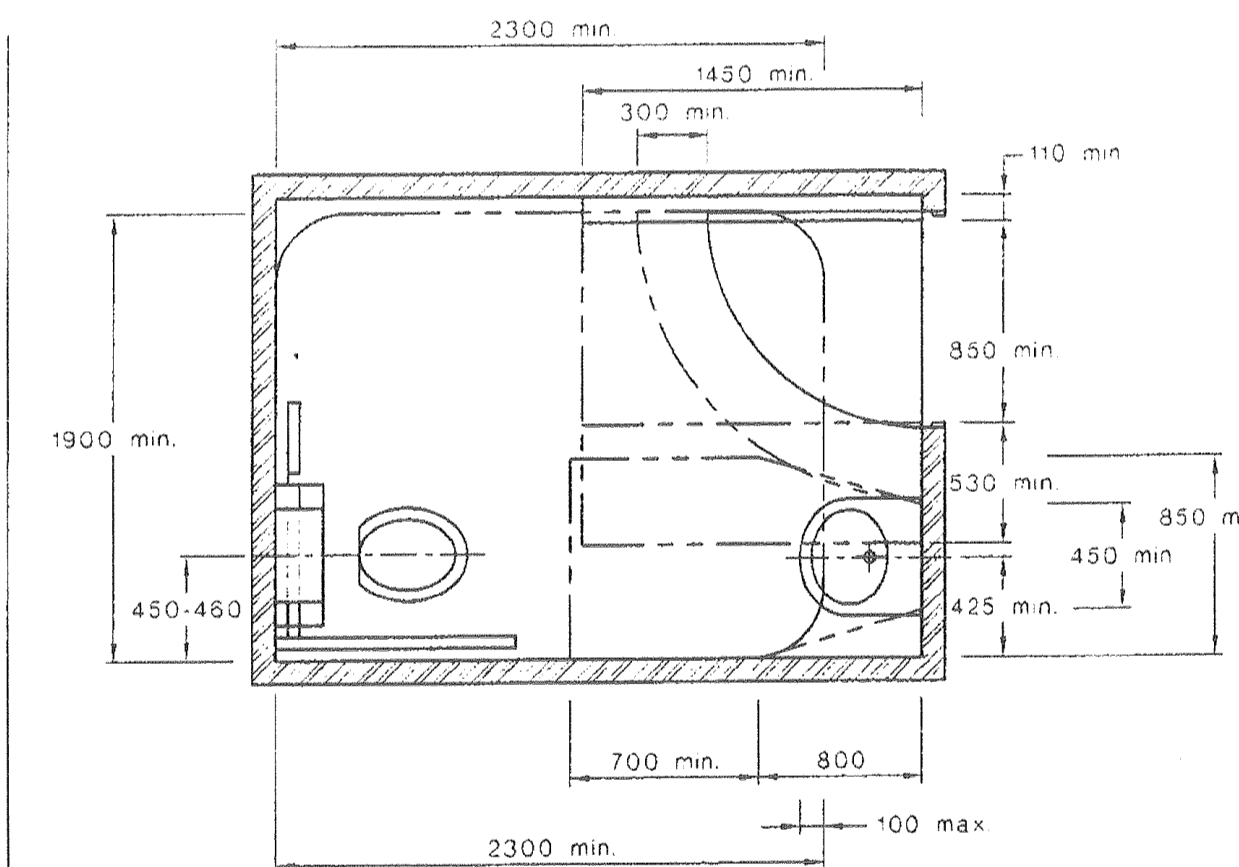
(b) Grabrail at back of pan and sectional view of grabrail at side of pan

DIMENSIONS IN MILLIMETRES

FIGURE 42 POSITIONS OF GRABRAILS IN WATER CLOSETS

39

AS 1428.1—2009



DIMENSIONS IN MILLIMETRES

FIGURE 52 EXAMPLE OF OVERLAPPING CIRCULATION SPACES IN A SANITARY COMPARTMENT

16 SANITARY COMPARTMENT FOR PEOPLE WITH AMBULANT DISABILITIES

16.1 General

Sanitary compartment for people with ambulant disabilities shall be in accordance with Figures 53(A) and 53(B).

16.2 Grabrails

Grabrails shall be installed in accordance with Clause 17 and Figure 53(A).

16.3 Doors

Doors to sanitary compartments for people with ambulant disabilities shall have openings with a minimum clear width of 700 mm, and shall comply with Figure 53(B).

Doors shall be provided with an in-use indicator and a bolt or catch. Where a snib catch is used, the snib handle shall have a minimum length of 45 mm from the centre of the spindle. In an emergency, the latch mechanism shall be openable from the outside.

16.4 Signage

Sanitary compartment for people with ambulant disabilities shall be identified by symbol or words, as specified in Clause 8.

M7 Design Group Pty. Ltd. building designers registered building practitioner	1. 83 8327 8311 2. 83 8327 8310 M. 0430 999 993	Proposed: (3X) FACTORIES At: LOT 712 RAVENHALL WAY, RAVENHALL Client: TIM RASHIDI	date amendments
	Job No: 1494	Date: 15.12.16	Copyright 2016. These drawings are not to be copied or used in any way without the written consent of the author.
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